



CITY OF OREM
CITY COUNCIL MEETING
56 North State Street, Orem, Utah
March 09, 2021

*This meeting may be held electronically
to allow a Councilmember to participate.*

12:00 P.M. LIBRARY HALL RIBBON CUTTING

All participants will be required to wear a mask and participate in social distancing during this event.

NOTICE OF ALL-ELECTRONIC MEETING & OPPORTUNITY FOR PUBLIC PARTICIPATION

Pursuant to Mayor Richard F. Brunst's Proclamation dated February 26, 2021, the Orem City Council meeting on March 9, 2021 will be an all-electronic meeting. There will be no anchor location for the meeting. The City cannot ensure the recommended minimum of six feet of social distancing for meeting participants at the usual anchor location in the Orem City Council Chambers. Therefore, holding the meeting at the City Council Chambers would present a substantial risk to the health and safety of those who may be present at the meeting and may contribute to the spread of COVID-19. There will be no public access to the Orem City Council chambers. Those desiring to view or participate in the meeting must do so electronically.

To view the meeting: please go to orem.org/meetings.

To make a comment: Please submit your comment through: orem.org/comments

Written comments will be accepted before and during the meeting. All written comments received will be entered into the record and forwarded to each City Council member for review. Written comments will also be read aloud during the live meeting when required by law or when time permits. As technology permits, the City Council may also accept oral comments. Once an item has been voted on, that item will be closed to additional comments.

Thank you for your cooperation during these challenging times.

4:00 P.M. WORK SESSION - VIA ELECTRONIC MEETING

DISCUSSION - Amendment to the Sleepy Ridge Golf Course Agreement (15 min)

Review and Discussion

Presenter: Karl Hirst, Recreation Director and Heather Schriever, City Attorney

DISCUSSION - University Place Community Development Amendment (10 min)

Review and Discussion

Presenter: Jamie Davidson, City Manager

[RDA Covid-19 Determination Resolution.2.16.2021.docx](#)

DISCUSSION - City Center Feasibility Analysis (45 min)

Discussion

Presenter: Brenn Bybee, Assistant City Manager and Joe Smith of Method Studio

DISCUSSION - Administration of the 2021 Municipal Elections (5 min)

Review and Discussion

Presenter: Jody Bates, City Recorder

[2021 Municipal Election ILA - Orem \(1\).pdf](#)

1. AGENDA REVIEW & PREVIEW OF UPCOMING AGENDA ITEMS

The City Council will review the items on the agenda.

2. CITY COUNCIL REPORTS (BOARDS & COMMISSIONS, NEW BUSINESS, ETC.)

This is an opportunity for members of the City Council to raise issues of information or concern.

Presenter: Debby Lauret

6:00 P.M. REGULAR SESSION - COUNCIL CHAMBERS

3. CALL TO ORDER

4. INVOCATION/INSPIRATIONAL THOUGHT: DEBBY LAURET

5. PLEDGE OF ALLEGIANCE: JIM LAURET

6. MAYOR'S REPORT/ITEMS REFERRED BY COUNCIL

6.1. PRESENTATION - Sleepy Ridge Golf Course

Annual Report

7. PERSONAL APPEARANCES – 15 MINUTES

Time has been set aside for the public to express their ideas, concerns, and comments on items not scheduled as public hearings on the Agenda. Those wishing to speak are encouraged to show respect for those who serve the city. Comments should focus on issues concerning the city. Those wishing to speak should have signed in before the beginning of the meeting. (Please limit your comments to 3 minutes or less.)

8. CONSENT ITEMS

8.1. APPROVAL OF MEETING MINUTES

Minutes of City Council Meeting

- February 23, 2021

8.2. APPOINTMENTS TO BOARDS AND COMMISSIONS

Metropolitan Water Board:

- Carl Cook, Appointment

[Carl Cook--Metro Water_Redacted.pdf](#)

8.3. RESOLUTION - Utah Public Treasurers Investment Fund (PTIF) Administrative Rights Authorization

The City Council of the City of Orem authorizes, by Resolution, that specified employees be given access to the City's Public Treasurers Investment Fund accounts.

[Treasurer Resolution - PTIF Access.docx](#)

[Treasurer Certification - PTIF - Exhibit A.pdf](#)

9. SCHEDULED ITEMS

9.1. PUBLIC HEARING - Amending portions of 22-8-8(B), 22-8-8(B)(3) of the Orem City Code, and enacting Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) to the Orem City Code pertaining to permitted modifications to Buffered Sidewalk requirements, and adding additional design standards and utility enclosure standards within the State Street Corridor Area.

The Planning Commission recommends the City Council, by ordinance, amend portions of Sections 22-8-8(B), 22-8-8(B)(3) of the Orem City Code, and enacting Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) to the Orem City Code pertaining to permitted modifications to Buffered Sidewalk requirements, and adding additional design standards and utility enclosure standards within the State Street Corridor Area.

Presenter: Matt Taylor, Senior Planner

[Text_22-8-8 Development Standards_State Street.docx](#)

[Text_22-8-8 Development Standards_State Street.pdf](#)

[Agenda-StateStreet-BufferedSidewalkException.docx](#)

[C2 Amendments v. 0.1.pptx.pdf](#)

[Ordinance-Enacting-StateStreetCorridor-BufferedSidewalk.docx](#)

9.2. PUBLIC HEARING - Amending portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones.

The Planning Commission recommends the City Council, by ordinance, amend portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones.

Presenter: Jason Bench, Planning Division Manager

[Agenda-NorthVillageSetbacks.docx](#)

[Text_Amendments_District-Setbacks_and_Stepbacks.docx](#)

State Street Districts_50_75_100 feet.pdf
Setback Exhibit.JPG
Setback Table.JPG
North Village Only Map.pdf
Art District Setbacks Option 1.pdf
Arts District Setbacks Option 2.pdf
Ordinance-Enacting-NorthvillageSetbacks_Option 1.docx
Ordinance-Enacting-NorthvillageSetbacks_Option 2.docx
Neighborhood Meeting Comments_Questions_Zoom Mtg 2-17-21.pdf
Citizen email.pdf
20210209_1_MailerFront.pdf
20210209_1_MailerBack.pdf
Mailing List_Neighborhood Meeting.docx

10. COMMUNICATION ITEMS

11. CITY MANAGER INFORMATION ITEMS

This is an opportunity for the City Manager to provide information to the City Council. These items are for information and do not require action by the City Council.

12. ADJOURN

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS.

**If you need a special accommodation to participate in the City Council Meetings and Study Sessions,
please call the City Recorder's Office at least 3 working days prior to the meeting.
(Voice 801-229-7000)**

This agenda is also available on the City's webpage at orem.org



Agenda Item No:

City Council Agenda Item Report

Meeting Date: March 9, 2021

Submitted by: Jody Bates

Submitting Department: Recreation

Item Type: Discussion Item

Agenda Section:

Subject:

DISCUSSION - Amendment to the Sleepy Ridge Golf Course Agreement (15 min)

Suggested Action:

Review and Discussion

Presenter:

Karl Hirst, Recreation Director and Heather Schriever, City Attorney

Background:

the parties initially entered into an agreement in March 2008 providing that Sleepy Ridge and The Suites would construct, maintain and operate a Golf Course, Clubhouse, and Office Units on real property owned by the City. The agreement gave The Suites and Sleepy Ridge until December 31, 2046 to recoup their investment in the Golf Course, Clubhouse, and Office Units; after which the the lease for the Golf Course and Clubhouse would expire and title to the Office Units would revert back to the City. Sleepy Ridge and The Suites have informed the City that they will not be able to recoup their investment by December 31, 2046. Lewis, Young and Burningham has reviewed Sleepy Ridge's and the Suite's financial records and has confirmed that they will not be able to recoup their investment by the deadline. As consideration for extending the deadline for Sleepy Ridge and The Suites to recoup their investment the parties have agreed (1) to add additional property to the lease terms of the agreement (Clegg Pond and the Spring Pointe Property), (2) to extend the recoupment period to December 31, 2060, (3) to make changes to the Reserve Fund contribution, and (4) for Sleepy Ridge and The Suites to expend at least 4% of their Gross Revenue on annual improvements to the golf course. Staff recommends the City Council authorize the Mayor to sign the amendment to the agreement.

Potentially Affected Area:

Sleepy Ridge Golf Course & Clegg Pond

Attachments:



Agenda Item No:

City Council Agenda Item Report

Meeting Date: March 9, 2021

Submitted by: Jamie Davidson

Submitting Department: City Manager's Office

Item Type: Discussion Item

Agenda Section:

Subject:

DISCUSSION - University Place Community Development Amendment (10 min)

Suggested Action:

Review and Discussion

Presenter:

Jamie Davidson, City Manager

Background:

Background: In August 2020, the Utah State Legislature passed and the governor signed SB 6001 amending the Utah Community Development and Renewal Agencies Act ("Act") permitting redevelopment agencies to extend collection of tax increment under certain circumstances due to COVID-19 (the "Emergency Extension"). The Emergency Extension specifically authorizes the Agency to extend the tax increment collection period in a project area, by up to two years as an impacted project area if (1) the Agency determines the conditions resulting from the COVID-19 emergency will likely delay the Agency's implementation of the Project Area Plan; (2) or cause the Agency to receive an amount of tax increment from the project area that is less than the amount of tax increment the Agency expected the Agency would receive from the project area. The Developer has represented to the Agency that its construction costs have increased during the pandemic, construction has slowed or stalled thereby delaying the implementation of the Project Area Plan for the University Place Project Area. The Developer has also represented that the demand for mixed-use has flagged and that an extension of an additional two years will allow these markets to rebound and the Agency to recapture any tax increment lost to the loss in demand. The University Place Project Area has a tax increment collection period of 20 years. Staff and Woodbury jointly recommend that the Agency extend the tax increment collection period from 20 to 22 years. Staff also recommends that the RDA amend the Participation Agreement between the Agency and Developer to reflect this extension.

Potentially Affected Area:

University Place Project Area

Attachments:

[RDA Covid-19 Determination Resolution.2.16.2021.docx](#)

[Amendment University Place CDA Participation Agreement 2.19.2021.docx](#)

RESOLUTION NO. RDA_____

A RESOLUTION OF THE REDEVELOPMENT AGENCY OF THE CITY OF OREM, UTAH AUTHORIZING THE EXTENSION OF COLLECTION OF TAX INCREMENT FOR TWO YEARS IN THE UNIVERSITY PLACE COMMUNITY DEVELOPMENT PROJECT AREA DUE TO THE COVID-19 PANDEMIC EMERGENCY

WHEREAS, the Utah Legislature, in the Sixth 2020 Special Session, through Senate Bill 6001, amended the Utah Community Development and Renewal Agencies Act (the “Act”), specifically enacting Utah Code Annotated (“UCA”) § 17C-1-416 (“The COVID-19 Emergency Extension”) on August 31, 2020 which authorized Community Development and Renewal Agencies such as the Redevelopment Agency of the City of Orem, Utah (the “Agency”) to extend the collection of “Tax Increment” (as defined in UCA § 17C-1-403) under certain circumstances due to the Covid-19 Emergency; and

WHEREAS, the COVID-19 Emergency Extension was signed by the Governor of Utah and became law, effective August 31, 2020; and

WHEREAS, the Agency adopted the Final Project Area Plan (“Project Area Plan”) establishing the University Place Community Development Project Area (“Project Area”) on September 23, 2014; and approved and adopted a Project Area Budget “Budget”) for the Project Area on December 9, 2014; and

WHEREAS, the COVID-19 Emergency Extension specifically authorizes the Agency to extend the Tax Increment collection period in the Project Area, by up to two years as an impacted project area if the Agency determines the conditions resulting from the COVID-19 emergency will likely delay the Agency's implementation of the Project Area Plan; or cause the Agency to receive an amount of Tax Increment from the Project Area that is less than the amount of Tax Increment the Agency expected the Agency would receive from the Project Area;

WHEREAS, the Agency has carefully considered the facts and information available to the Agency on whether the Covid-19 emergency will likely delay the Agency's implementation of the Plan for the Project Area; or cause the Agency to receive an amount of Tax Increment from the Project Area that is less than the amount of Tax Increment the Agency expected the Agency would receive from the Project Area; and

WHEREAS, the Agency after carefully considering all of the facts and information is prepared to make its determinations, findings and conclusions as set forth below.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BOARD OF THE REDEVELOPMENT AGENCY OF THE CITY OF OREM, UTAH AS FOLLOWS:

1. The Agency Board does hereby find and determine the Project Area is an “impacted project area” as defined in UCA § 17C-1-416(1)(c) as the Agency expects to receive Tax Increment from the Project Area; the Project Area is subject to a project area funds collection period; the Plan for the Project Area was adopted on September 23, 2014; and the Agency has determined the conditions resulting from the COVID-19 Emergency will likely either delay the Agency’s implementation of the Project Area Plan or cause the Agency to receive an amount of Tax Increment from the Project Area that is less than the amount of Tax Increment the Agency expected would receive from the Project Area.

2. Certain findings and determinations in Paragraph 1 above are supported by the following specific facts:

- a. The adopted Project Area Budget, attached hereto as **Exhibit A**, supports the determination by the Agency under UCA § 17C-1-416(1)(c)(i) that the Agency expects to receive Tax Increment from the Project Area and the determination by the Agency Board under UCA § 17C-1-416(1)(c)(ii) that the Project Area is subject to a project area funds collection period.
 - b. The adopted Project Area Plan, attached hereto as **Exhibit B**, supports the determination by the Agency under UCA § 17C-1-416(1)(c)(iii) that the Project Area Plan was adopted on September 23, 2014 which is prior to December 31, 2019.
3. The Agency finding and determination that conditions resulting from the COVID-19 Emergency will likely delay the Agency’s implementation of the Project Area Plan is supported by the Project Area Plan, attached as Exhibit B, and the following specific facts:
- a. COVID-19 has had a significant impact on construction costs related to the Project Area Plan increasing the cost of construction and delaying construction/increasing lead time. A sampling of cost increases and lead time increases provided by Woodbury Corporation/University Mall Shopping Center, L.C. the primary developer of the Project Area are included here:
 - 1) PVC pipe prices increased 98.7% with an increased lead time of 6-8 weeks.
 - 2) Lumber prices increased 25-30% with lead time increase of 2-3 weeks for certain lumber.
 - 3) Bus duct prices increased 20% with a lead time increase of 2 months.
 - 4) HVAC mechanical equipment lead time increased by 6 weeks.

5) Electrical panels and breakers lead time increased by 4 weeks.

6) Glass lead time increased by 4 weeks.

7) Copper prices increased 20%.

8) Steel prices increased 4%.

These price increases and delays in construction lead time have delayed the construction and implementation of the Project Area Plan and it is expected delays will continue for the foreseeable future. *See Exhibit C December 20, 2020 Letter Request.*

b. The demand for mixed-use product types has flagged. For example, demand for office space leases has decreased sharply as some businesses have transitioned to work-at-home options. Retail and hospitality leases have also faced negative economic impacts from prolonged periods of consumers staying at home. The extension of the Project Area Plan for an additional two years will allow these markets time to rebound and the Agency time to recapture any reduction in Tax Increment experienced as a result of the COVID-19 Emergency.

4. The date on which the extension period will end is 2040.

5. Agency staff is hereby authorized and directed to mail or electronically submit a copy of this Resolution after adoption to:

- a. the Utah State Tax Commission;
- b. the Utah State Board of Education;
- c. the Utah State Auditor;
- d. the Utah County Auditor;
- e. each taxing entity affected by the Agency's collection of Tax Increment from the Project Area.

6. Agency staff are hereby authorized to take all other actions necessary, including those actions required to carry out the purposes of this Resolution.

9 This Resolution shall be effective upon adoption.

PASSED AND ADOPTED by the governing board of the Redevelopment Agency of the City of Orem, Utah dated this 23rd day of March, 2021.

Richard F. Brunst Jr.
Agency Chairman

Attest:

JoD' Ann Bates, Secretary

EXHIBIT A

Project Area Budget

EXHIBIT B

Project Area Plan

EXHIBIT C

December 20, 2020 Letter Request

AMENDMENT TO PARTICIPATION AGREEMENT
RDA-A-2015-0001

This Amendment to the Participation Agreement (University Place Community Development Project Area RDA-A-2015-0001 (the “Amendment”) is executed by and between the Redevelopment Agency for the **City of Orem**, Utah a community development and renewal agency and political subdivision of the State of Utah, with its principal offices located at 56 North State Street, Orem, Utah 84057 (referred to herein as the “Agency”); and **University Shopping Center, L.C., a Utah limited liability company**, with its principal office located at 2733 East Parleys Way, #300, Salt Lake City, Utah 84109 (hereinafter referred to as “Developer”).

RECITALS

WHEREAS, the parties entered into the Participation Agreement RDA-2015-0001 on or about April 14, 2015 (the “Agreement”); and

WHEREAS, the Agreement sets forth the terms under which the Agency will assist the Developer in developing University Place Community Development Project Area; and

WHEREAS, the Utah Legislature, in the Sixth 2020 Special Session, through Senate Bill 6001, amended the Utah Community Development and Renewal Agencies Act (the “Act”), specifically enacting Utah Code Annotated (“UCA”) § 17C-1-416 (“The COVID-19 Emergency Extension”) on August 31, 2020 which authorized Community Development and Renewal Agencies such as the Agency to extend the collection of “Tax Increment” (as defined in UCA § 17C-1-403) under certain circumstances due to the Covid-19 Emergency; and

WHEREAS, the COVID-19 Emergency Extension was signed by the Governor of Utah and became law, effective August 31, 2020; and

WHEREAS, Developer has requested the Agency consider implementing the COVID-19 Emergency Extension and extend for an additional two (2) years the Tax Increment Term outlined in the Agreement; and

WHEREAS, the Agency Board has considered the situation and has found that the conditions resulting from the COVID-19 Emergency will likely delay the implementation of the Project Area Plan or reduce the amount of Tax Increment that the Agency received from the impacted Project Area; and

WHEREAS, the parties wish to amend the Agreement to provide for this change in circumstances.

COVENANTS

NOW, THEREFORE, in consideration of the mutual covenants of the parties as set forth herein and for other good and valuable consideration, the receipt of which is hereby acknowledged, the

On the ____ day of _____, 2021, before me personally appeared _____, to me personally known to be the _____ of the company that executed the within instrument, known to me to be the person who executed the within instrument on behalf of said company therein named, and acknowledged to me that such company executed the within instrument pursuant to its articles of organization.

NOTARY PUBLIC

(Seal)

My commission expires: _____

Residing at: _____



Agenda Item No:

City Council Agenda Item Report

Meeting Date: March 9, 2021

Submitted by: Jody Bates

Submitting Department: City Manager' s Office

Item Type: Discussion Item

Agenda Section:

Subject:

DISCUSSION - Administration of the 2021 Municipal Elections (5 min)

Suggested Action:

Review and Discussion

Presenter:

Jody Bates, City Recorder

Background:

The Utah County Clerk Office/Election Office requires a Resolution and Interlocal Cooperation Agreement to be signed between Utah County and the City in order to administer the 2021 City of Orem Municipal Elections

Potentially Affected Area:

Attachments:

[2021 Municipal Election ILA - Orem \(1\).pdf](#)

**INTERLOCAL COOPERATION AGREEMENT BETWEEN UTAH COUNTY
AND OREM CITY
FOR THE ADMINISTRATION OF THE 2021 MUNICIPAL ELECTIONS**

THIS IS AN INTERLOCAL COOPERATION AGREEMENT (Agreement), made and entered into by and between Utah County, a political subdivision of the State of Utah, and Orem City a Utah municipality and political subdivision of the State of Utah, hereinafter referred to as CITY.

WITNESSETH:

WHEREAS, pursuant to the provisions of the Interlocal Cooperation Act (“Act”), Title 11, Chapter 13, Utah Code, public agencies, including political subdivisions of the State of Utah as therein defined, are authorized to enter into written agreements with one another for joint or cooperative action; and

WHEREAS, pursuant to the Act, the parties desire to work together through joint and cooperative action that will benefit the residents of both Utah County and CITY; and

WHEREAS, the parties to this Agreement are public agencies as defined in the Act; and

WHEREAS, Utah County and CITY desire to successfully conduct the 2021 CITY Municipal Primary (August 10) and General (November 2) Elections (collectively “2021 CITY Municipal Elections”); and

WHEREAS, it is to the mutual benefit of both Utah County and CITY to enter into an agreement providing for the parties’ joint efforts to administer the 2021 CITY Municipal Elections.

NOW, THEREFORE, the parties do mutually agree, pursuant to the terms and provisions of the Act, as follows:

Section 1. EFFECTIVE DATE; DURATION

This Agreement shall become effective and shall enter into force, within the meaning of the Act, upon the submission of this Agreement to, and the approval and execution thereof by Resolution of the governing bodies of each of the parties to this Agreement. The term of this Agreement shall be from the effective date hereof until the completion of the parties' responsibilities associated with the 2021 CITY Municipal Elections or until terminated but is no longer than 1 year from the date of this Agreement. This Agreement shall not become effective until it has been reviewed and approved as to form and compatibility with the laws of the State of Utah by the Utah County Attorney and the attorney for CITY. Prior to becoming effective, this Agreement shall be filed with the person who keeps the records of each of the parties hereto.

Section 2. ADMINISTRATION OF AGREEMENT

The parties to this Agreement do not contemplate nor intend to establish a separate legal entity under the terms of this Agreement. The parties hereto agree that, pursuant to Section 11-13-207, Utah Code, Utah County, by and through the Utah County Clerk/Auditor Elections Office, shall act as the administrator responsible for the administration of this Agreement. The parties further agree that this Agreement does not anticipate nor provide for any organizational changes in the parties. The administrator agrees to keep all books and records in such form and manner as Utah County shall specify and further agrees that said books shall be open for examination by the parties hereto at all reasonable times. The parties agree that they will not acquire, hold nor dispose of real or personal property pursuant to this Agreement during this joint undertaking.

Section 3. PURPOSES

This Agreement has been established and entered into between the parties for the purpose of administering the 2021 CITY Municipal Elections. This Agreement contemplates basic,

traditional primary and general elections (including RCV) for the 2021 CITY Municipal Elections. All other election-related services, including but not limited to services for special elections or elections for subsequent years, will need to be agreed to in a separate writing signed by both parties.

Section 4. RESPONSIBILITIES

The parties agree to fulfill the responsibilities and duties as contained in Exhibit A which is attached hereto and by this reference is incorporated herein for the 2021 CITY Municipal Elections.

CITY agrees to pay to Utah County the actual cost of County's administration of the 2021 CITY Municipal Elections which cost shall not exceed the estimated costs as contained in Exhibit B which is attached hereto and by this reference is incorporated herein. CITY agrees to pay to County the cost as contemplated herein within 30 days of receiving an invoice from County.

Section 5. METHOD OF TERMINATION

This Agreement will automatically terminate at the end of its term herein, pursuant to the provisions of paragraph one (1) of this Agreement. Prior to the automatic termination at the end of the term of this Agreement, any party to this Agreement may terminate the Agreement sixty days after providing written notice of termination to the other parties. Should the Agreement be terminated prior to the end of the stated term, CITY will be responsible for any costs incurred, including costs not then incurred but which are contemplated herein and irreversible at the time of termination such as return mailing costs, through the time of termination. The Parties to this Agreement agree to bring current, prior to termination, any financial obligation contained herein.

Section 6. INDEMNIFICATION

The parties to this Agreement are political subdivisions of the State of Utah. The parties

agree to indemnify and hold harmless the other for damages, claims, suits, and actions arising out of a negligent error or omission of its own officials or employees in connection with this Agreement. It is expressly agreed between the parties that the obligation to indemnify is limited to the dollar amounts set forth in the Governmental Immunity Act, Section 63G-7-604.

Section 7. FILING OF INTERLOCAL COOPERATION AGREEMENT

Executed copies of this Agreement shall be placed on file in the office of the County Clerk/Auditor of Utah County and with the official keeper of records of CITY, and shall remain on file for public inspection during the term of this Agreement.

Section 8. ADOPTION REQUIREMENTS

This Agreement shall be (a) approved by Resolution of the governing body of each of the parties, (b) executed by a duly authorized official of each of the parties (c) submitted to and approved by an Authorized Attorney of each of the parties, as required by Section 11-13-202.5, Utah Code, and (d) filed in the official records of each party.

Section 9. AMENDMENTS

This Agreement may not be amended, changed, modified or altered except by an instrument in writing which shall be (a) approved by Resolution of the governing body of each of the parties, (b) executed by a duly authorized official of each of the parties, (c) submitted to and approved by an Authorized Attorney of each of the parties, as required by Section 11-13-205.5, Utah Code, and (d) filed in the official records of each party.

Section 10. SEVERABILITY

If any term or provision of the Agreement or the application thereof shall to any extent be invalid or unenforceable, the remainder of this Agreement, or the application of such term or provision to circumstances other than those with respect to which it is invalid or unenforceable,

shall not be affected thereby, and shall be enforced to the extent permitted by law. To the extent permitted by applicable law, the parties hereby waive any provision of law which would render any of the terms of this Agreement unenforceable.

Section 11. NO PRESUMPTION

Should any provision of this Agreement require judicial interpretation, the Court interpreting or construing the same shall not apply a presumption that the terms hereof shall be more strictly construed against the party, by reason of the rule of construction that a document is to be construed more strictly against the person who himself or through his agents prepared the same, it being acknowledged that each of the parties have participated in the preparation hereof.

Section 12. HEADINGS

Headings herein are for convenience of reference only and shall not be considered any interpretation of the Agreement.

Section 13. BINDING AGREEMENT

This Agreement shall be binding upon the heirs, successors, administrators, and assigns of each of the parties hereto.

Section 14. NOTICES

All notices, demands and other communications required or permitted to be given hereunder shall be in writing and shall be deemed to have been properly given if delivered by hand or by certified mail, return receipt requested, postage paid, to the parties at the addresses of the City Mayor or County Commission, or at such other addresses as may be designated by notice given hereunder.

Section 15. ASSIGNMENT

The parties to this Agreement shall not assign this Agreement, or any part hereof, without

the prior written consent of all other parties to this Agreement. No assignment shall relieve the original parties from any liability hereunder.

Section 16. GOVERNING LAW

All questions with respect to the construction of this Agreement, and the rights and liability of the parties hereto, shall be governed by the laws of the State of Utah.

IN WITNESS WHEREOF, the parties have signed and executed this Agreement, after resolutions duly and lawfully passed, on the dates listed below:

UTAH COUNTY

Authorized by Resolution No. 2021 - ____, authorized and passed on the ____ day of _____ 2021.

BOARD OF COUNTY COMMISSIONERS
UTAH COUNTY, UTAH

By: _____
WILLIAM C. LEE, Chairman

ATTEST: AMELIA A. POWERS
Utah County Clerk/Auditor

By: _____
Deputy

APPROVED AS TO FORM AND COMPATIBILITY
WITH THE LAWS OF THE STATE OF UTAH:
DAVID O. LEAVITT, Utah County Attorney

By: _____
Deputy County Attorney

CITY

Authorized by Resolution No. _____, authorized and passed on the _____ day of
_____ 2021.

Mayor, CITY

ATTEST:

NAME
CITY Recorder

APPROVED AS TO FORM AND COMPATIBILITY
WITH THE LAWS OF THE STATE OF UTAH
CITY Attorney

By: _____

Exhibit A
2021 Municipal Elections
Scope of Work for Election Services
Revised 09 February 2021

Services the City will provide include, but are not limited to:

- All administrative functions related to candidate filing.
- All administrative functions related to financial disclosure required by state code and/or city code.
- Publish Public Notices required by law. The City may work with the County to publish notices jointly with other jurisdictions.
- Accept responsibility to keep candidates and the public up to date and informed on all legal requirements governing candidates and campaigns.
- Thoroughly examine and proof all election programming done for the City Municipal Elections. Final approval of ballots and programming will rest with the City.
- Host on the official City web site: a link to or copy of the official reported results as hosted on the County Elections web page, the location of the county-owned ballot drop boxes, and a link to the website for citizens to opt-in to receive ballot alert texts.
- City will not change the format or otherwise alter the official reported results, only displaying them in the form and format as provided by the County.
- City will canvas the final elections results.

Annexations or other boundary changes impacting the administration of the elections need to be submitted to the County by June 1, 2021. Annexation changes submitted after June 1 will not be incorporated into this election.

The City acknowledges that this Interlocal Agreement relates to a municipal ballot and election and as required by state statute, the City Clerk/Recorder is the Election Officer.

The City will provide the County Clerk with information, decisions, and resolutions and will take appropriate actions required for the conduct of the election in a timely manner. The City agrees to consolidate all elections administration functions and decisions in the office of the County Clerk to ensure the successful conduct of multiple, simultaneous municipal elections.

In a consolidated election, decisions made by the County regarding resources, procedures and policies are based upon providing the same scope and level of service to all the participating jurisdictions and the City recognizes that such decisions, made for the benefit of the whole, may not be subject to review by the City.

Services the County will perform for the City include, but are not limited to:

- Ballot layout and design
- Ballot printing
- Ballot mailings
- Return postage
- Ballot processing
- Printing optical scan ballots
- Program and test voting equipment
- Program electronic voter register
- Poll Worker recruitment, training, and supervision
- Compensate vote center poll workers
- Delivery of supplies and equipment
- Tabulate and report election results on county website
- Provisional ballot verification
- Update voter history database
- Conduct audits (as required)
- Conduct recounts (as needed)
- Election day administrative support
- Operation of county wide vote centers.
- Provide final, canvass report of Official Election Results. The city is responsible to canvass their municipal election on the date designated by the county. Such results will constitute the final Official Results of the Election.
- Election security
- Ballot drop box services – maintain, lock and unlock boxes, and collect ballots.

The County will provide a good faith estimate for budgeting purposes. Election costs are based upon the offices scheduled for election, the number of voters, and the number of jurisdictions participating. The City will be invoiced for its share of the actual costs of the elections which will not exceed the estimated rate in Exhibit B.

In the event of a state or county special election being held in conjunction with a municipal election, the scope of services and associated costs, and the method of calculating those costs, will remain unchanged.

The City acknowledges that this Interlocal Agreement relates to a municipal ballot and election and as required by state statute, the City Clerk/Recorder is the Election Officer.

2021 Municipal Elections

Exhibit B

Active Voters for billing purposes, will be calculated 11 days before each Election Day

OREM

Election	1/4/2021	Not to exceed \$2.25 per voter per election	
Primary	48478	\$	109,075.50
General	48478	\$	109,075.50
Estimated Cost as of 2/22/2021		\$	218,151.00

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CITY OF OREM
CITY COUNCIL MEETING
56 North State Street Orem, Utah
February 23, 2021

*This meeting was held electronically
to allow Councilmembers and Staff to participate.*

4:30 P.M. WORK SESSION – CITY COUNCIL CONFERENCE ROOM

CONDUCTING Mayor Richard F. Brunst

ELECTED OFFICIALS Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer, and Brent Sumner.

APPOINTED STAFF Jamie Davidson, City Manager; Brenn Bybee, Assistant City Manager; Steven Downs, Deputy City Manager; Heather Schriever, City Attorney; Marc Sanderson, Fire Chief; Joshua Adams, Police Chief; Ryan Clark, Development Services Director; Charlene Crozier, Library Director; Chris Tschirki, Public Works Department Manager; Brandon Nelson, Finance Department Manager; Karl Hirst, Recreation Department Manager; Jason Bench, Planning Division Manager; Pete Wolfley, Communications Specialist; and JoD'Ann Bates, City Recorder

NOTE: The referenced report and presentation documents for each discussion may be viewed at orem.org/meetings under “City Council Presentations”

DISCUSSION – Water Tank Status Review

Mr. Tschirki stated they had held a public meeting Thursday, February 18, 2021 regarding the proposed/possible water tank locations and wanted to update the council as to the results of the comments made by the residents and the direction they are proposing. The city started with 2 possible properties and they now have additional options that will be presented.

Mayor Brunst indicated the two ballfields on the west side of Orem Elementary had been presented and was discussed with Alpine School District. In the end it was determined they are not allowing the use of those fields to house the water tanks, so that is no longer an option.

Mr. Kelly indicated he had been in contact with Mr. Farley regarding and updated proposal for his property. He continued to discuss some of those changes Mr. Farley suggested which included a possible increase in the purchase price. They are still waiting on figures and appraisals before they move forward with this location.

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Mr. Tschirki stated there was an additional property that was discussed during the neighborhood meeting which is located at 673 West 350 South which is currently under contract. Mr. Kelly indicated the property owner is Mr. Larsen and in conversations with him, he is willing to look at possible extension options due to the current situation with the undecided location of the tank. He voiced his appreciation for the patience and willingness of Mr. Larsen in working with the city.

Discussion continued regarding accommodating Mountain View High School baseball fields and concerns of the residents in that area. General discussion continued regarding the various options, some issues the city faces with those options and suggestions as to what other options they could consider with size, location and amenities that would need to be replaced.

Mr. Davidson stated before they start down any road of construction and reconstructions, they need to work with the school district first and find out how they can make it work for both sides. They want to do all they can to help maintain the healthy relationship they have with the school district. The City Council unanimously agreed to take the Farley property off the table of discussion.

UPDATE – Hillcrest Park Engagement

Mr. Bybee stated they have launched a new webpage specifically for the Hillcrest Park property. This allows the city to provide information as to what the city is proposing to include the two concepts the council has approved, and the cost estimates that coincide with the concept plans. It also gives the public the information for the electronic meetings that will be held on March 4th. They can also provide their comments and feedback via written comments and join the meetings as indicated. During the meeting itself, they will go through the concepts and allow the public to ask questions and get clarification. For direct questions they will be sent back to the website and its form so those comments can be compiled easier.

Discussion continued regarding concerns of the time scheduled and if it would be enough based on the previous meetings with the water tank. Further discussion continued regarding allowing ways for the residents to give their concerns and ideas and allowing the City Recreation Committee an opportunity to review the options and needs.

Mr. Davidson stated when they developed the Parks Master Plan they tried to incorporate what the needs of the community were and those needs were determined based on a statistically significant or valid survey so they are and were a representative of the needs of the entire community to some degree. When they met with the Landmark Design team they didn't haphazardly just throw a whole bunch of stuff into a concept; it was based upon what the needs of the community are part of our city-wide Parks Master Plan process and in line with the survey.

Agenda Review & Preview of Upcoming Agenda Items

The City Council reviewed the evening's agenda. Discussion ensued regarding the scheduled items that would be considered.

City Council Reports & City Manager Information Items

Mr. Davidson reviewed some informational items for the Council which included the following:

- They are continuing with the 2021 legislative session and there are several bills that are being watched closely that would have a direct impact on the city.
 - HB82 is the single housing amendments that would permit accessory dwelling units or mother-in-law apartments to be located in cities across the state. They have been able to work with the bill sponsor to temper that to include recognition for cities that have universities in them. The bill language suggests that cities are required to have accessory dwelling units permitted within 75 percent of all residential zones in their city. However, in cities where they have a university there are provisions that would essentially reduce that number to 33 1/3. They continue to have some concerns with the bill and will continue to work with the legislature on those issues.
 - SB61 is a billboard bill which would allow without city approval the conversion of static billboards to digital billboards through the entire city without necessarily consideration for those billboards in proximity to neighborhoods. Ms. Schriever stated SB61 has been circled on the Senate floor, but it will be up for its third reading before the senate in the near future.
 - HB364 is related to the Utah Lake Commission. They have spent time with the sponsor of the bill Brady Brammer and other cities in the valley in an effort to make this bill such that it benefits the cities from the perspective of having a more influential voice in determining the future of Utah Lake. They believe it has been shaped to be in the best interest of the city, allowing us an impact in the future.
- He clarified information regarding staff receiving and notifying HR when they receive the Covid-19 shots which allows the city to determine if an onsite clinic is needed to allow employees the opportunity and access to the vaccine.
- They are drawing close to completion of the Fitness Center and allowing the opportunity for council members to tour the facility. Staff is working hard to ensure they meet all Covid-19 requirements keeping those in mind as they open. They continue to sell passes and those sales are growing as it progresses.
- They are in the process of recruiting for a new Recreation Director with the planned retirement of our current Recreation Director Karl Hirst.
- The city is continuing with the details associated with the city's compensation and benefits study that was started in 2020. Information will be going out this week in terms of the information gathering process.
- The school resource officer program that is run through our police department will be seeing a change. With recent changes by the Alpine School District they are consolidating their alternative high school options to one facility in American Fork, no longer requiring one of our officers in the current Orem facility. At the end of the school year the department will absorb the personnel into the regular circulation within the police department which will enhance our ability to provide patrol and investigation services.

Mr. Spencer reported on the committees he represents which include the following:

- Senior Committee continues to progress.
- Beautification Committee
 - Reports at the regular Council meeting tonight

- Recreation
 - Fitness Center opening in March
 - Hillcrest Park – upcoming public meetings
- Public Safety – Looks forward to being part of this new committee.

6:00 P.M. REGULAR SESSION – COUNCIL CHAMBERS

CONDUCTING

Mayor Richard F. Brunst

ELECTED OFFICIALS

Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer, and Brent Sumner

APPOINTED STAFF

Jamie Davidson, City Manager; Brenn Bybee, Assistant City Manager; Steven Downs, Deputy City Manager; Heather Schriever, City Attorney; Marc Sanderson, Fire Chief; Joshua Adams, Police Chief; Ryan Clark, Development Services Director; Charlene Crozier, Library Director; Chris Tschirki, Public Works Department Manager; Brandon Nelson, Finance Department Manager; Karl Hirst, Recreation Department Manager; Jason Bench, Planning Division Manager; Steve Earl, Deputy City Attorney; Pete Wolfley, Communications Specialist; and JoD'Ann Bates, City Recorder.

CALL TO ORDER

Mayor Brunst read the following to begin the meeting:

“Pursuant to Mayor Richard F. Brunst's Proclamation dated February 4, 2021, the Orem City Council meeting on February 23, 2021 will be an all-electronic meeting. There will be no anchor location for the meeting. The City cannot ensure the recommended minimum of six feet of social distancing for meeting participants at the usual anchor location in the Orem City Council Chambers. Therefore, holding the meeting at the City Council Chambers would present a substantial risk to the health and safety of those who may be present at the meeting and may contribute to the spread of COVID-19. There will be no public access to the Orem City Council chambers. Those desiring to view or participate in the meeting must do so electronically.

To view the meeting: please go to orem.org/meetings.

To make a comment: Please submit your comment through: orem.org/comments

Written comments will be accepted before and during the meeting. All written comments received will be entered into the record and forwarded to each City Council member for review. Written comments will also be read aloud during the live meeting when required by law or when time permits. As technology permits, the City Council may also accept oral comments. Once an item has been voted on, that item will be closed to additional comments. Thank you for your cooperation during these challenging times.”

1 INVOCATION /

2 **INSPIRATIONAL THOUGHT** Ken Millett

3 **PLEDGE OF ALLEGIANCE** Le Nae Millett

6 MAYOR'S REPORT/ITEMS REFERRED BY COUNCIL

8 PRESENTATION: Beautification Advisory Commission

10 Mr. Price turned the time over to Elaine Parker who is the Chair of the Beautification Commission.

12 Ms. Parker introduced Sean Orullian as the Vice Chairman, and other members of the committee which include: Sheralyn Bennett, Tanya Harmon, Aaron Orullian, Jason Bond and David Spencer as council representative. She then turned the presentation over to Sean Orullian.

16 Mr. Orullian stated that although Covid-19 stopped them from doing some of their goals, but they were still able to accomplish some great things. He reviewed some of the projects they did during 2020.

- 19 ○ Held free gardening classes
- 20 ○ Updated garage sale rules and regulations
- 21 ○ Social Media outreach on Facebook
- 22 ○ Beautification Awards
- 23 ○ Holiday Decoration Awards
- 24 ○ Residential Beautification Awards
- 25 ○ Business Beautification Awards

26 He stated if there are any suggestion for awards around the city, he asked they reach out to them on their Facebook page.

28 He continued to review the goals for 2021 which include:

29 1) Promote worthwhile practices that enhance the beauty of Orem:

- 30 a. Encourage Orem's residents and businesses to beautify their yards and properties through recognition awards.
- 32 b. Recognize resident and businesses during the holiday season for their efforts in decorating with lights and displays.
- 34 c. Participate in the City's Arbor Day activities that help sustain Orem's 'Tree City USA' designation.

36 2) Promote the rolls and actives of the Beautification Commission:

- 37 a. Continue to promote the Commission and beautification activities and education opportunities through its Facebook page and city newsletter.
- 39 b. Participate in the Summerfest parade.

40 He concluded by thanking the council for their support and advise in order for them to do their job to the best of their ability.

44 PERSONAL APPEARANCES

46 Time was allotted for the public to express their ideas, concerns, and comments on items not scheduled as public hearings on the agenda. Those wishing to make a comment provided staff with written comments.

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Public comments were made by the following:

- Gaylene Rosenthal
- Lisa Richards

Written public comments submitted were read into the record. Written comments that were submitted are attached to the end of the minutes in their entirety.

CONSENT ITEMS

- APPROVAL OF MEETING MINUTES
 - Minutes of City Council Meeting – January 26, 2021
 - Minutes of City Council Meeting – February 9, 2021
- APPOINTMENT TO BOARDS AND COMMISSIONS
 - Transportation Advisory Commission:
 - Becky Buxton – Re-appointment
 - Le Nae Millett, Appointment
 - CDBG Commission:
 - Steven Heaps – Appointment
- ORDINANCE - Amending Article 2-22 Amending the Employee Appeals Board

Mayor Brunst indicated the third item “Ordinance – Amending Article 2-22 Amending the Employee Appeals Board” had been pulled off the agenda and will not be voted upon with the other Consent Items listed at this time.

Mayor Brunst moved to approve the Consent Agenda to include the approval of meeting minutes and appointment to boards and commissions only. **David Spencer seconded** the motion. Those voting aye: Richard F. Brunst, Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer, and Brent Sumner. The motion **passed**.

SCHEDULES ITEMS

PUBLIC HEARING -

To allow public input regarding (a) The issuance and sale of not more than \$45,000,000 aggregate principal amount of water, sewer and storm sewer revenue and refunding bonds, series 2021 (the “bonds”) and (b) Any potential economic impact that the project described herein to be financed with the proceeds of the bonds issued under the act may have on the private sector; and all related matters.

Mayor Brunst opened the public hearing at 6:18 p.m. Hearing no comments, the Mayor closed the public hearing at 6:19 pm and brought the item back to the City Council for further discussion.

PUBLIC HEARING – ORDINANCE

Amending portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to stepback requirements and building setback requirements in the State

Street District zones.

Mr. Bench stated staff is proposing two ordinance amendments pertaining to setback requirements and stepback requirements in the State Street District zones. During a recent work session, City Councilmembers requested that staff review the setback requirements in the five State Street District zones, pertaining to setbacks from adjacent residential zone boundaries. In particular, the Council requested that staff focus on the North Village District and the Arts District zones. Based on staff's review, staff propose an enlarged setback for buildings in the North Village District and a portion of the Arts District zones from adjoining residential property. The proposed amendment would require any structure within fifty feet (50') of a residential zone not part of the district zones or adjacent to the Res-B zone in the North Village District (NVD-Res(B)) to be limited to 35 feet in overall height. In addition, if the residential zone is across a public street the 50-foot measurement would be from the back of curb on the district side of the street. The current requirement pertaining to a setback being at least equal to the height of a building next to a residential property would continue to apply. Any development will be required to meet both requirements where applicable.

General discussion ensued regarding the preference of the options and the response from residents in the proposed areas regarding proposed setbacks and stepbacks.

Mayor Brunst opened the public hearing at 6:32 p.m.

Public comments were made by the following:

- Stephanie Visnaw
- Lisa Hehl
- Annya Becerra
- LaNae Millett
- Jim Condie

Written public comments submitted were read into the record. Written comments that were submitted are attached to the end of the minutes in their entirety.

Hearing no further comments, the Mayor closed the public hearing at 6:47 pm and brought the item back to the City Council for further discussion.

Discussion ensued regarding concerns of the proposed height of the buildings, setbacks, access and the possible issues it may cause for the residents living in those areas. Continued discussion of how the proposed and suggested changes would affect the business owners and their property.

Mr. Ryan stated what they have proposed is an effort to be business friendly and continue to keep a balance. This is why they are recommending the 50-foot setback, feeling it is a good balance. He asked that if this is to be continued for two weeks, they would like some direction as to what the council's expectation is.

General discussion ensued clarifying where the 50' would start and what concerns the council would have if this was continued versus approval. Several councilmembers requested this item be continued to the next council meeting in order to hear from both residential and commercial property owners.

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Mayor Brunst stated he feels this is a good compromise having the 50' setback and feels 75'-100' is taking away the rights of the property owners. He agreed with Mr. Davidson in the fact they need to ensure the rights of both the business property owners and private property owners.

Mayor Brunst moved, to continue the item of Amending portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones to the next regularly scheduled City Council meeting. **Mr. Peterson seconded** the motion. Those voting aye: Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer, and Brent Sumner. Those voting naye: Richard F. Brunst. The motion **passed**.

PUBLIC HEARING - RESOLUTION – Amending the Current Fiscal Year 2020-2021 Budget

Mr. Nelson stated the Fiscal Year 2020-2021 City of Orem budget has many adjustments that occur throughout the fiscal year. These adjustments include grants received from Federal, State, and other governmental or private entities or organizations; interest earnings on unspent 2019 G.O. Bond funds; interest earnings in the CARE Tax fund related to fitness center funds; funding of a waterline replacement project; and for the purchase of various custodial equipment for the fitness center. The Recreation Department is proposing to change the following for both the Recreation Center and the Scera Outdoor Pools:

Child – Change from “Under 4 Years Old” to “Under 3 Years Old”

Youth – Change from ages “4 to 13” to ages “3 to 13”

Senior Citizen – Change from “55 and Older” to “60 and Older”

Mayor Brunst opened the public hearing at 7:16 p.m. Hearing no comments, the Mayor closed the public hearing at 7:18 pm and brought the item back to the City Council for further discussion.

Mayor Brunst moved, by Resolution, to Amending the Current Fiscal Year 2020-2021 Budget. **Debby Lauret seconded** the motion. Those voting aye: Richard F. Brunst, Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer, and Brent Sumner. The motion **passed**.

COMMUNICATION ITEMS

The Monthly Financial Summary from December 2020 was included in the agenda for review.

CITY MANAGER INFORMATION ITEMS

The City Manager had no additional Information Items to share.

ADJOURNMENT

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Jeff Lambson moved to adjourn. **Dave Spencer seconded** the motion. Those voting aye: Richard F. Brunst, Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer, and Brent Sumner. The motion **passed**.

The meeting adjourned at 7:19 p.m.

PUBLIC COMMENTS – February 23, 2021

7. PERSONAL APPEARANCES

Gaylene Rosenthal

The property at 444 S 400 W is a great location for the water tank, well, pump house, and water lines. A written letter was emailed Saturday to the Mayor, city council and staff giving many details for this choice of location which would take longer than the 3 minutes allowed. The following are a few thoughts from the letter. No one can put a money price on the disruption and closure of this busy Orem Community Park area, high school sports and other sports, tennis courts, playground, pavilions, access to the new Orem Fitness Center, family time and children/students going to school safely for a couple of years. This project is like doing a 'remodel job' in the park versus building 'NEW' at 444 S 400 W. Most contractors prefer 'NEW' construction. It saves a lot of time and money and has less unforeseen issues and complications. Both areas have concerns that are the same like school safety, construction time, inconvenience, dust, devalue of homes and a multiple of other concerns. Utility rates will rise regardless of the area, that is a fact of living in the real world. In all my years, I have never seen utilities or property taxes (which generates money to Orem City) DECREASE. A statement was made at the February 18th meeting regarding homes directly affected at the two locations - Orem Community Park and 444 S 400 W. There are 15 home properties in the park area that border/touch the park boundaries including the 2 homes on 600 W that will be highly affected. (Also, ALL the people who use the park) There are 9 home properties that border/touch the 444 S 400 W property which has NO ACCESS and is fenced entirely. (No one uses the orchard but at the owner's permission.) The Orem Community Park would be highly disrupted while the 444 S 400 W property is NOT used by public. It would be great to turn that 444 S 400 W area into more green park space and NOT more housing and traffic. Call the park Farley Park to remember and honor the owner. The property at 444 S 400 W is a great location for the water tank, well, pump house and water lines.

Lisa Richards

Stop to reconsider that there is no need for more pickle ball courts. Stop assuming your personal opinions are representing the majority of Orem residents. What is the rush on pushing the Hillcrest Park development and assuming you have a thorough understanding of what serves all of Orem best? So you are telling me this group of 40-60 year old council members knows what kind of parks the younger families want? How many children will use 16 pickleball courts? You are aware that Orem has a new massive indoor pickleball facility? You think just one person opposes this and will hold up your hasty plan? I don't care if you like #2 or #3, when there is little differences between them? These ideas are stuck with thinking inside the box and what hinders Orem development from ever succeeding or serving the residents well.

9.1 PUBLIC HEARING -To allow public input regarding (a) The issuance and sale of not more than \$45,000,000 aggregate principal amount of water, sewer and storm sewer revenue and refunding bonds, series 2021 (the “bonds”) and (b) Any potential economic impact that the project described herein to be financed with the proceeds of the bonds issued under the act may have on the private sector; and all related matters

None

9.2 PUBLIC HEARING - Amending portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones.

Stephanie Visnaw

I appreciate the Council's consideration in implementing a 50' setback from the back property line of homes in the Res-B zone of the North Village District and adjacent residential zones. Zoning efforts to buffer residents from commercial property is crucial in maintaining desirable and higher value residential property. It is my request that the City Council consider increasing this setback from 50' to 100' wherever a NVD-E (Edge Zone) abuts a residential zone. Edge zones are designed for mixed commercial/residential use, with building heights restricted by parking and setback requirements. There are many cases in the North Village District where Edge Zones abut R8 zones. It is my understanding that mid-density Res-B zones are transition zones to step down from commercial to standard residential zones. Many standard residential zones of the North Village District abut Edge Zones and do not have Res-B zones as a transition, which allows taller commercial/high-density housing to be built right next to an R8 zone. Increasing the setback from 50' to 100' where ALL residential zones abut an Edge Zone would protect and buffer residential properties that do not have a Res-B zone as a transition. Although not on today's agenda, I would further propose that certain Edge Zones be considered for rezoning to Res-B, especially where they abut R8 zones. One such property is between State Street and 400 W (behind State Street Storage and continues to the corner of 1600 N and 400 W) which does not have State Street frontage - not ideal for the required commercial element of an Edge zone property. The current Res-B homes along 400 W have applied to be rezoned back to R8. If this application is approved, rezoning the current Edge Zones behind it and to the south (corner of 1600 N & 400 W) to Res-B would provide the transition from commercial to residential, as well as provide a better use for a property that is currently zoned mixed commercial/residential with no State Street frontage or access. I understand that a lot of time and resources have gone into preparing the Master Plan. However, now is a good time to take another look and improve upon the Master Plan for the North Village District. The Master Plan states, "The NVD zones are intended to be more residential in nature, with neighborhood retail and smaller-scale development compared to the other four State Street Districts" (Ord. No. O-2018-0029, Enacted 10/9/2018). Increasing Edge Zone setbacks to 100' and rezoning some Edge and Res-B zones, is in keeping with the Master Plan description of the North Village District and

would be beneficial to all Orem City residents involved. Thank you for your time and consideration.

Lisa Hehl

City Council & City of Orem As stated in the Orem City “Code of Ordinances” (Article 22-24-5), “Purpose. The North Village District (NVD) zones are located at the City’s northern gateway. The NVD zones are intended to be more residential in nature, with neighborhood retail and smaller-scale development compared to the other four State Street Districts.” (Ord. No. O-2018-0029, Enacted 10/9/2018) As a resident whose property abuts the North Village District, I want to thank the Commission and Council for considering the impact of commercial and high-density development on residential areas. The recent proposal to create a 50’ setback around the NVD-ResB zone is a great example of this. Upon further review of the NVD ordinances, I have a few concerns and requests:

- Residential Rezoning – The NVD-E and NVD-ResB zones are designed to scale back larger development as it nears residential, transitioning from commercial to mid-density residential. There has been a request submitted to change the current NVD-ResB zone along 400 W back to RES-8. If this is approved, it would make sense to rezone the portion of NVD-E adjacent to the west and south of this area to NVD-ResB. With it currently zoned NVD-E, it requires some commercial/residential mix. Changing a portion of the NVD-E zone (corner of 400 W and 1600 N as well as the area behind the homes on 400 W) to NVD-ResB with a 35’ maximum building height, would allow the stepdown from commercial to mid-density housing, as zoning ordinances are designed to do.
- Benefits – Changing a portion of the NVD-E zone to NVD-ResB would allow a developer to build mid-density housing in an area that already has residential nearby without the commercial restrictions. This would alleviate some of the residents’ concerns with commercial areas creeping into the residential. State Street access is limited in this area and eliminating the commercial aspect of this property would help with easement from other surface streets.
- Property Line Setback Requirements – Although the 50’ setback behind the homes on 400 W is a great improvement, 50’ is not very much room to buffer from larger buildings. It would be a huge benefit to all residents near the North Village District to have this setback requirement increased to 100’ wherever NVD-E abuts a Res-8 zone without the NVD-ResB as a stepdown buffer. My home (RES-8) at 399 W 1560 N, is such a property that currently has NVD-E on the back fence line. Without doing any rezoning, increasing the 50’ setback to 100’ would help buffer from any further, large developments.
- Street Setback Requirements – Currently, the ordinance is to have any new build be 10’ from the sidewalk. As this may work for State Street, it is not conducive to 1600 N or other streets in this district. Having large buildings within 10’ of the sidewalk, or less, on 1600 N does not help with the residential feel as it transitions to residential areas. The “corridor” or “boulevard” look and feel should be focused on State Street only in the North Village District.
- Commercial/Residential Access – Allowing any connector streets from commercial businesses or State Street to 400 W would only contribute to the existing congestion. Maps show future plans for the North Village District with a connector road cutting through the area between 1600 N and 1800 N. The residents do not support any roads going through, and request that any commercial or higher density housing traffic be directed toward State Street and not 400 W.
- Maximum Building Height – In keeping with the purpose of the NVD zone, “with neighborhood retail and smaller-scale development compared to the other four State Street Districts,” it only makes sense to limit building height in this area. The NVD-E zones currently do not have a maximum building height

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but are restricted by other ordinances (parking and setback requirements). In the NVD-ResB zone building height maximum is 35'. Creating a 50' maximum height in the NVD-E zones would provide a clearer transition from larger NVD-C developments and protect the property values of neighboring NVD-ResB or R8 zones. • Parking – Currently the NVD-E ordinance of 1.75 parking stalls is insufficient. Limiting parking in these residential/commercial zones means that surface streets are used as overflow. The surface streets cannot handle any more congestion, whether parked or moving. The theory that mixed residential/commercial will share parking, with commercial use during the day and residential at night, may not be the case as we move forward through and out of the pandemic. Many businesses have stated that working from home will be a viable option even once the pandemic is over. More people will be home during the day, with their cars parked in these shared residential/commercial stalls. Now is a great time to address the ordinance and to increase parking requirements to at least 2 stalls per unit. All of these ordinance and zoning changes would benefit the residents of the North Village District, as well as Orem City as a whole. Creating and maintaining a more defined and separate commercial, high-density housing, and protected residential zones, makes for a better aesthetic and functioning city. Traffic is already a major issue in Orem, with the NVD not an exception. These changes would help alleviate further congestion and provide a safer place for residents. After all, the NVD zones “are intended to be more residential in nature, with neighborhood retail and smaller-scale development compared to the other four State Street Districts (Ord. No. O-2018-0029, Enacted 10/9/2018).” It is time to revisit the Master Plan to continue to protect residential areas from commercial and high-density housing development. Thank you for your time and consideration into these matters.

Annya Becerra

I appreciate the Council's consideration and support and at this time I ask City Council to consider increasing this setback from 50' to 100' wherever a NVD-E (Edge Zone) abuts a residential zone. Edge zones are designed for mixed commercial/residential use, with building heights restricted by parking and setback requirements. Many standard residential zones of the North Village District abut Edge Zones and do not have Res-B zones as a transition (for example homes behind Mountain America Bank), which allows taller commercial/high-density housing to be built right next to an R8-zone. Currently, all seven residents on 400 West have applied to change homes from Res-B (who were not aware of this change) along 400 West back to R8-zone homes which they should have never changed in the first place. All who are asking council members and the city to approve their request in a future time, and if this application is approved, it would facilitate the rezoning of the current Edge Zone behind it to Res-B. This would provide the transition from commercial to residential, as well as provide a better use for a property that is essentially landlocked. Increasing the setback from 50' to 100' where ALL residential zones abut an Edge Zone would protect and buffer residential properties. Furthermore, it would lessen the impact on the traffic that is already dangerous and impacting residential neighborhoods. A dangerous example of insufficient setbacks is Quick-Quack which was built right at the corner of 1600 North so close to residential homes, our neighborhoods recently experience dangerous driving conditions and traffic chaos due to enormous lines and blocked traffic. As many of you know traffic in this area is not an isolated event and the amount of traffic on 400 West and at the intersection of 1600 North and 400 West is at times dangerous. The number of accidents that have occurred at this intersection and on 400 West has been significant with people driving over 40 miles per hr. I also request, that due to the amount of traffic, that no roads or connecting streets go through 400 W from any commercial or higher

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density housing. I understand that a lot of time and resources have gone into preparing the Master Plan. However, now is a good time to take another look and improve upon the Master Plan for the North Village District. The Master Plan states, "The NVD zones are intended to be more residential in nature, with neighborhood retail and smaller-scale development compared to the other four State Street Districts." (Ord. No. O-2018-0029, Enacted 10/9/2018) Increasing Edge Zone setbacks to 100' and rezoning current Edge and Res-B zones, is in keeping with the Master Plan description of the North Village District and would be beneficial to all Orem City residents involved.

LaNae Millett

I appreciate the work that went into creating the State Street Master Plan and the ideas put forth to help beautify development along State Street. The residents in my area feel the North Village District has some unique issues & request that zoning adjustments be made to address those issues. 1- There is NO Buffer Zone for the homes on 400 West, there should be a transitional RES (B) type zone between the State street Core Zone and the homes on 400 West. The Edge zone is not a sufficient buffer and a Res(B) zone designation would be more appropriate up to the 1800 North boundary. The Res(B) zone would be in keeping with the purpose of this node. As stated in the State Street Master Plan, it is 'intended to be more residential in nature'. Please rezone the inner section on the Northeast node to a medium density "condo-type" housing or small commercial/office with customary density and height. 2- Height restrictions for the property directly behind the homes should be revised and the 50 ft setback should be increased to 75-100 feet. The height of buildings should transition down from State Street, not from the middle of the node or from 1600 North. The land behind and to the south side of the homes should have Res(B) height restrictions. The homes need a buffer greater than 50 feet -- 75 or 100 feet would be in keeping with similar transitions found in other areas of Orem where medium density housing abuts to single family housing. 3- Building setbacks should be more than 0-10 feet from the curb, and the shoulders on 1600 North should be increased to the customary width found on other large collector streets. Eastbound 1600 North has extremely narrow shoulders on the North and South sides. Several times an accident or local business travel have created extreme traffic issues for residents as 1600 North is a main transportation gateway for the North Orem area. Zoning setbacks that will allow for an opportunity to widen 1600 North to 400 West would be wise and would reduce future costs and problems. A wider shoulder between the street and the sidewalk will provide greater safety for pedestrians. A walkable community provides for the safety of pedestrians and that area is not safely walkable. 4- A requirement for businesses to provide a few street visible parking spots would provide a safer, more visible parking area for women versus all parking in the back behind the building. I had an unsettling experience once where a man approached me in a parking lot that was secluded behind a building. I was grateful the business had a security guard patrolling the parking lot. Requiring a few parking options in front would provide a safe option for those seeking one. Please consider this for State Street. Thank you for helping us to preserve our neighborhoods and the safety of our streets.

Jim Condie

DRAFT

I appreciate the fine people in the planning commission and their willingness to meet with the neighbors near the North Village District to help us understand how the city processes work. These planning people are our neighbors and friends. I am excited to have my home, one of the homes on the west side of 400 W 1600 N, moved back to R8 Zoning allowing for more of a buffer behind my property between residential and future commercial or multifamily developments. This is a residential area and we want to keep it residential. Traffic is a problem that takes away from the residential feel. 400 West above 1600 North has become a major artery for Orem, Lindon and Pleasant Grove. The zoning corrections will help reduce the size and setbacks of the commercial development that is in the plans. The next concern is the existing traffic and future traffic on 400 West above 1600 N. Any development in the North East corner of the NVD should not be allowed unless it has access to State Street. Please Approve the NVD buffer Zones to be between the most restrictive re the 50' setback (or more) or the setback equal to the height. Also the re-zoning of our 8 homes back to R8 as per our petition to the city. Thank you for your consideration.

9.3 PUBLIC HEARING - Amending the Current Fiscal Year 2020-2021 Budget

None



Board, Commission & Committee Application

City of Orem

Submitted On:
February 26, 2021 9:56am
America/Denver

Personal Information

Full Name	Carl L. Cook
Full Address	<div></div> Orem UT 84057
Phone Number	<div></div>
Email	<div></div>

Boards & Commissions

What board or commission are you applying for?	Metropolitan Water District
If a position on your preferred board or commission isn't available, would you like to be considered for openings on other boards or commissions?	Yes
Summarize why you wish to serve on a city commission and if there are areas of concern that you would like to see addressed by a city commission.	I have been serving on the planning commission for the nearly six years and it has been a great opportunity to participate in the development of our community. It is a wonderful place to live and in order to keep it that way, we need to give back.
Please tell us a little about yourself. Also include a summary of the special skills and qualifications you have acquired from employment, previous appointments, previous volunteer work, or through other activities.	I am a professional civil engineer with 40 years of experience and a general emphasis on water resource engineering. We have raised our family here in Orem. As mentioned previously, I have been serving on the planning commission. I also have many years of LDS Church service in various capacities, including three years in Argentina.
Signature Data	First Name: Carl Last Name: Cook Email Address: <div></div> 



City Council Agenda Item Report

Meeting Date: March 9, 2021

Submitted by: Brandon Nelson

Submitting Department: Finance

Item Type: Resolution

Agenda Section:

Subject:

RESOLUTION - Utah Public Treasurers Investment Fund (PTIF) Administrative Rights Authorization

Suggested Action:

The City Council of the City of Orem authorizes, by Resolution, that specified employees be given access to the City's Public Treasurers Investment Fund accounts.

Presenter:

Background:

The State of Utah Office of the State Treasurer requires city officials to authorize access to the Public Treasurers Investment Fund (PTIF) accounts using their online account management program. Recent changes in the Finance Department and Treasury personnel have made it necessary to update and authorize PTIF access.

Potentially Affected Area:

Citywide

Attachments:

[Treasurer Resolution - PTIF Access.docx](#)

[Treasurer Certification - PTIF - Exhibit A.pdf](#)

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RESOLUTION NO. _____

A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF OREM,
UTAH, AUTHORIZING SPECIFIED INDIVIDUALS THE
ADMINISTRATIVE RIGHTS TO ADD OR DELETE USERS AND/OR
TRANSACT WITH PUBLIC TREASURERS INVESTMENT ACCOUNTS

WHEREAS the City of Orem places idle cash with the Utah Public Treasurers Investment Fund (PTIF);
and

WHEREAS the PTIF launched a new online account management program in 2018; and

WHEREAS the PTIF requests all participants state who from their organization are to have administrative
rights with the PTIF; and

WHEREAS changes related to Treasury and Finance Department personnel have been made.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OREM, UTAH,
as follows:

1. The City Council hereby authorizes employees named in the form attached to this resolution as
Exhibit A to be given administrative rights with the PTIF.

2. This resolution shall take effect immediately upon publication.

PASSED AND APPROVED this 9th day of **March 2021**.

CITY OF OREM, by
Richard F. Brunst, Mayor

ATTEST:

JoD'Ann Bates, City Recorder

COUNCIL MEMBERS	AYE	NAY	ABSTAIN
Mayor Richard F. Brunst	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Lambson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Debby Lauret	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Macdonald	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Terry Peterson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Spencer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brent Sumner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1. Certification of Authorized Individuals

I, _____(Name) hereby certify that the following are authorized: to add or delete users to access and/or transact with PTIF accounts; to add, delete, or make changes to bank accounts tied to PTIF accounts; to open or close PTIF accounts; and to execute any necessary forms in connection with such changes on behalf of _____(Name of Legal Entity). Please list at least two individuals.

Name	Title	Email	Signature(s)
_____	_____	_____	_____
_____	_____	_____	_____

The authority of the named individuals to act on behalf of _____(Name of Legal Entity) shall remain in full force and effect until written revocation from _____(Name of Legal Entity) is delivered to the Office of the State Treasurer.

2. Signature of Authorization

I, the undersigned, _____(Title) of the above named entity, do hereby certify that the forgoing is a true copy of a resolution adopted by the governing body for banking and investments of said entity on the _____day of _____, 20____, at which a quorum was present and voted; that said resolution is now in full force and effect; and that the signatures as shown above are genuine.

Signature	Date	Printed Name	Title
_____	_____	_____	_____

STATE OF UTAH)
) §
COUNTY OF _____)

Subscribed and sworn to me on this _____ day of _____, 20____, by
_____ (Name), as _____ (Title) of
_____(Name of Entity), proved to me on the basis of
satisfactory evidence to be the person(s) who appeared before me.

(seal)

Signature_____



City Council Agenda Item Report

Meeting Date: March 9, 2021

Submitted by: Jason Bench

Submitting Department: Development Services

Item Type: Ordinance

Agenda Section:

Subject:

PUBLIC HEARING - Amending portions of 22-8-8(B), 22-8-8(B)(3) of the Orem City Code, and enacting Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) to the Orem City Code pertaining to permitted modifications to Buffered Sidewalk requirements, and adding additional design standards and utility enclosure standards within the State Street Corridor Area.

Suggested Action:

The Planning Commission recommends the City Council, by ordinance, amend portions of Sections 22-8-8(B), 22-8-8(B)(3) of the Orem City Code, and enacting Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) to the Orem City Code pertaining to permitted modifications to Buffered Sidewalk requirements, and adding additional design standards and utility enclosure standards within the State Street Corridor Area.

Presenter:

Matt Taylor, Senior Planner

Background:

Potentially Affected Area:

Citywide

Attachments:

[Text_22-8-8 Development Standards_State Street.docx](#)

[Text_22-8-8 Development Standards_State Street.pdf](#)

[Agenda-StateStreet-BufferedSidewalkException.docx](#)

[C2 Amendments v. 0.1.pptx.pdf](#)

[Ordinance-Enacting-StateStreetCorridor-BufferedSidewalk.docx](#)

22-8-8. Zone Development Standards.

....

B. Zone Development Standards for the State Street Corridor Area. The following requirements shall apply to all development in the State Street Corridor Area including development in PD zones and the State Street District zones, unless the applicable PD zone or State Street District zone contains a specific, contrary standard in which case the standard set forth in the applicable PD or State Street District zone shall control. The "State Street Corridor Area" refers to all lots that have frontage on State Street or frontage on a State Street Connector Street (that portion of a public street that intersects with and is located within 500 feet of the State Street right-of-way line). If not specifically governed by a provision of this Section 22-8-8(B), the "General Zone Development Standards" of 22-8-8 (A) shall apply to development in the PO, C1, C2, C3, and HS zones.

1. Minimum and Maximum Setbacks From State Street and From State Street Connector Streets. All buildings in the State Street Corridor Area shall be set back no more than ten feet (10') from the back of the required sidewalk (the side furthest from the street) along State Street and State Street Connector Streets. There is no minimum setback from the State Street and State Street Connector Streets. Setbacks from other streets and property lines shall be as set forth in 22-8-8(A). All area within a setback (the area between the building and back of sidewalk) shall be landscaped and/or used as a "space open to the public" in accordance with subsection (5).
2. Minimum Building Height. All primary buildings in the State Street Corridor Area shall have a minimum building height of fifteen feet (15').
3. Building Accesses. Buildings located on parcels that have frontage on State Street shall have at least one public access facing State Street for public, daily customer, and/or resident use. Buildings that are designed with space for multiple tenants shall have at least one such access for each tenant space. Each tenant space in a building that has more than three hundred feet of building frontage facing State Street shall have at least two such accesses. Buildings on parcels that do not have frontage on State Street, but have frontage on State Street Connector Streets shall have at least one public access facing the State Street Connector Street. Building doors directly adjacent to sidewalks shall be recessed or otherwise set back so that the door does not encroach into the sidewalk when opened.

4. Buffered Sidewalks. Buffered sidewalks shall be installed and maintained along the entire length of property adjacent to State Street and State Street Connector Streets. Buffered sidewalks shall include both a landscaped planter strip area with trees next to the street, and a sidewalk.
 - a. Planter Strips. Planter strips along State Street shall be at least fifteen feet (15') wide and may not be used for storm water detention or management (such as a low-impact development) (see Appendix "SS"). Planter strips along State Street Connector Streets shall be at least eight feet (8') wide and may be used for storm water detention or management (such as a low impact development) (see Appendix "SS").
 - b. Sidewalks. Sidewalks along State Street and State Street Connector Streets shall be a minimum of 8 feet wide and shall include ADA-compliant ramps at curb cuts and intersections with public and private streets. Landscaping such as tree grates and planter boxes may be incorporated into the required sidewalk area where approved by the City, provided a continuous minimum unobstructed width of 5 feet of sidewalk travel lane is maintained. Sidewalk widths shall be consistent with sidewalks on adjacent properties where possible (provided they also meet the 8-foot minimum width requirement), or shall otherwise taper to meet neighboring sidewalk widths to create a smooth transition across property lines.
 - c. Vegetation coverage. Landscaped areas shall have a minimum of 50% living vegetation coverage. No vegetation coverage higher than 24 inches above grade shall be counted toward the total coverage requirement. No landscaping shall be required at vehicle access points, and vehicular accesses do not apply toward the total area required for vegetation coverage. Planter boxes, plants, and other vegetation outside of required landscaping areas are encouraged, but do not apply toward the total vegetation requirement.
 - d. Tree position and spacing. Trees shall be planted and maintained in the planter strips along State Street and shall be spaced evenly one tree for every 40 linear feet (or fraction thereof) of landscaped frontage. Trees shall be planted in the planter strips along State Street Connector Streets and shall be spaced one tree for every 40 linear feet of landscaped frontage. Trees must be spaced to best align with neighboring properties and to maximize the potential number of trees that can be planted. Trees must also be planted in the planter strip no more than 4 feet in from the inside sidewalk edge.

- e. Tree species. Trees planted in the required planter strips along State Street and State Street Connector Streets shall consist of trees authorized in Appendix "U". (Note: specific tree species are listed for each downtown district)
- f. Accommodations for safety. Landscaping requirements may be modified where the City traffic engineer determines a modification is necessary to accommodate deceleration lanes or to maintain clear vision areas.
- 5. "Space open to the public" setback exception and height bonus: Maximum setbacks along State Street and State Street Connector Streets may be extended an additional ten feet (for a total of 20 feet from back of the required sidewalk) to accommodate outdoor dining areas or other spaces open to the public. See Section 22-2-1 for the definition and requirements to qualify as a "Space open to the public". Lots with approved "spaces open to the public" may receive an additional maximum building height bonus of 15 feet (subject to applicable setback requirements in the C3 zone). Buildings with this added height must remain set back from residentially-zoned properties a distance equal to the (new) height of the building.
- 6. Signs. Monument signs shall be set back a minimum of eight (8') feet from the back of curb adjacent to State Street in order to accommodate any future widening without the need to relocate such signage.
- 7. Amended Sites. Notwithstanding the provisions of Section 22-14-20(G)(2) or any other provision of City Code except as provided below, any amendment to an existing site or development in the State Street Corridor Area must comply with the requirements of this Section 22-8-8(B). Except for the minor amendments described in 22-14-20(C)(3)(b)(1)-(3) and (5)-(10) and Section 22-14-20(H) relating to modification of the landscaping requirement, an applicant proposing amendments to an existing site plan must bring the site into compliance with the requirements of this Section 22-8-8(B).
 - a. "Small building addition" exception: The Gross Floor Area (GFA) of one primary building on a parcel may be expanded one time by an amount not to exceed 15% of the GFA of that building existing as of May 1, 2017, without complying with the maximum setback requirement of Section 22-8-8(B). This exception allows an addition to one existing building on a parcel and does not permit the construction of a new building that does not conform to the maximum setback. This one time "small building addition" must be constructed at the same time and may not be divided into multiple additions that combined add up to 15% or less. This small building addition shall not

be available for any building located on a parcel or part thereof that has been subdivided after May 1, 2017. Any amendments to an existing site must otherwise comply with the current ordinance requirements in accordance with Section 22-14-20(C).

- b. Permitted Modifications to Buffered Sidewalk Requirement. An amendment to an existing site that cannot fully comply with the buffered sidewalk requirement set forth above (eight (8) foot sidewalk and fifteen (15) foot planter strip—hereinafter referred to as the “Buffered Sidewalk Requirement”) without removing part of a building lawfully existing as of [insert council adoption date], shall only be required to comply with the Buffered Sidewalk Requirement to the greatest extent possible within the area between the back of curb and the existing building.
 - i. If the distance between the back of curb and the existing building is more than eight (8) feet, a buffered sidewalk shall be constructed and maintained with eight (8) feet of sidewalk and the balance of the area between the back of curb and the edge of sidewalk maintained as:
 - 1. a landscaped planter strip if there is five (5) feet or more between the back of curb and the sidewalk;
 - 2. decorative stamped concrete or pavers and tree grates (with trees) measuring at least four (4) feet wide and four feet long and spaced no more than forty (40) feet apart where there is less than five feet but more than two feet between the back of curb and the sidewalk. Tree grates may extend into the sidewalk area up to two (2) feet provided there remains at least five (5) feet of unobstructed sidewalk width and the tree grates are installed so as to create no trip hazards (the trees to be installed shall be selected from the list contained in Appendix U, Group A);
 - 3. decorative stamped concrete or pavers where there is less than two feet between the back of the curb and the sidewalk.
 - ii. If the distance between the back of the curb and the existing building is eight feet or less, a sidewalk shall be constructed and maintained in said area. In no case shall a sidewalk be less than five (5) feet.
 - iii. In no case shall any amended site increase the nonconformity of the site with respect to the Buffered Sidewalk Requirement.
 - iv. A building existing within the Buffered Sidewalk Requirement area shall not be expanded either vertically or horizontally within the Buffered Sidewalk Requirement area.

- v. A tapered transition between areas with a full and reduced buffered sidewalk shall be designed and constructed to create an uninterrupted and continuous sidewalk. The area of the transition shall not exceed the 25 feet in length.
- 8. Minimum Habitable Depth. The first 30 feet of ground floor building depth closest to the State Street right-of-way shall be gross leasable area.
- 9. Architectural Features.
 - a. Windows and Awnings. Each street-facing, ground-story facade shall have a minimum percentage of 40% completely transparent window coverage that is readily visible to a depth of at least five feet into the building. All awnings shall be durable canvas or standing seam metal. Plastic awnings are not permitted.
 - i. Except for ground floor display windows and transoms, windows on all stories of the building shall be vertical or square in proportion.
 - b. Vertical Facade Articulation. All street-facing facades shall have a vertical break of at least one foot for every 50 feet of building façade.



- c. Horizontal Weighting of Materials. Building wall materials shall be combined on each facade horizontally only, with the traditionally heavier elements (material or weight) below lighter elements. For example, stone should not be above stucco, and brick should not be below concrete.
- d. Materials.
 - i. Except as otherwise provided, all buildings shall be completed on street-facing facades with brick, split-face block, glass, stone, or fiber cement board (hereinafter referred to as "Tier 1 Materials"). Aluminum composite material panel systems, stucco, and exterior insulation and finishing systems (EIFS) (hereinafter referred to as "Tier 2 Materials") shall only be permitted as a trim on ground-level facades and shall only be allowed on up to a maximum of 40% of a street-facing facade and up to a maximum of 75% of a non-street facing façade.
 - ii. Standing seam metal (but no other metals) may be used for awnings. Sheet metal and corrugated metal and other metal finishes are only permitted for soffits, fascia, and similar minor architectural features (less than or equal to 5% coverage on any given elevation).
- 10. Utility Enclosures. Whenever possible, all utilities shall be buried. Utility access boxes and other utility appurtenances shall not be located within eight feet of the back of the curb. Utility access boxes and other utility appurtenances shall not be located within a planter strip, unless buried.
 - a. Utility boxes within 15 feet of the back of sidewalk shall be screened with a fence or wall that completely screens the box from view of the street and sidewalk. The screening fence or wall must be architecturally compatible with the materials and design of the primary structure and shall in no case be lower than four feet in height or the height of the utility box, whichever is greater. Chain link fencing with slats may not be used for the screening required under this subsection. Access gates for utility boxes and appurtenances under this subsection shall not face State Street or a State Street connector street.

22-8-8. Zone Development Standards.

....

B. Zone Development Standards for the State Street Corridor Area. The following requirements shall apply to all development in the State Street Corridor Area including development in PD zones and the State Street District zones, unless the applicable PD zone or State Street District zone contains a specific, contrary standard in which case the standard set forth in the applicable PD or State Street District zone shall control. The “State Street Corridor Area” refers to all lots that have frontage on State Street or frontage on a State Street Connector Street (that portion of a public street that intersects with and is located within 500 feet of the State Street right-of-way line). If not specifically governed by a provision of this Section 22-8-8(B), the “General Zone Development Standards” of 22-8-8 (A) shall apply to development in the PO, C1, C2, C3, and HS zones.

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2. **Minimum Building Height.** All primary buildings in the State Street Corridor Area shall have a minimum building height of fifteen feet (15’).
3. **Building Accesses.** Buildings located on parcels that have frontage on State Street shall have at least one public access facing State Street for public, daily customer, and/or resident use. Buildings that are designed with space for multiple tenants shall have at least one such access for each tenant space. Each tenant space in a building that has more than three hundred feet of building frontage facing State Street shall have at least two such accesses. Buildings on parcels that do not have frontage on State Street, but have frontage on State Street Connector Streets shall have at least one public access facing the State Street Connector Street. Building doors directly adjacent to sidewalks shall be recessed or otherwise set back so that the door does not encroach into the sidewalk when opened.

4. **Buffered Sidewalks.** Buffered sidewalks shall be installed and maintained along the entire length of property adjacent to State Street and State Street Connector Streets. Buffered sidewalks shall include both a landscaped planter strip area with trees next to the street, and a sidewalk.
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 - c. **Vegetation coverage.** Landscaped areas shall have a minimum of 50% living vegetation coverage. No vegetation coverage higher than 24 inches above grade shall be counted toward the total coverage requirement. No landscaping shall be required at vehicle access points, and vehicular accesses do not apply toward the total area required for vegetation coverage. Planter boxes, plants, and other vegetation outside of required landscaping areas are encouraged, but do not apply toward the total vegetation requirement.
 - d. **Tree position and spacing.** Trees shall be planted and maintained in the planter strips along State Street and shall be spaced evenly one tree for every 40 linear feet (or fraction thereof) of landscaped frontage. Trees shall be planted in the planter strips along State Street Connector Streets and shall be spaced one tree for every 40 linear feet of landscaped frontage. Trees must be spaced to best align with neighboring properties and to maximize the potential number of trees that can be planted. Trees must also be planted in the planter strip no more than 4 feet in from the inside sidewalk edge.

- e. **Tree species.** Trees planted in the required planter strips along State Street and State Street Connector Streets shall consist of trees authorized in Appendix “U”. (Note: specific tree species are listed for each downtown district)
- f. **Accommodations for safety.** Landscaping requirements may be modified where the City traffic engineer determines a modification is necessary to accommodate deceleration lanes or to maintain clear vision areas.
- 5. **“Space open to the public”** setback exception and height bonus: Maximum setbacks along State Street and State Street Connector Streets may be extended an additional ten feet (for a total of 20 feet from back of the required sidewalk) to accommodate outdoor dining areas or other spaces open to the public. See Section 22-2-1 for the definition and requirements to qualify as a “Space open to the public”. Lots with approved “spaces open to the public” may receive an additional maximum building height bonus of 15 feet (subject to applicable setback requirements in the C3 zone). Buildings with this added height must remain set back from residentially-zoned properties a distance equal to the (new) height of the building.
- 6. **Signs.** Monument signs shall be set back a minimum of eight (8’) feet from the back of curb adjacent to State Street in order to accommodate any future widening without the need to relocate such signage.
- 7. **Amended Sites.** Notwithstanding the provisions of Section 22-14-20(G)(2) or any other provision of City Code except as provided below, any amendment to an existing site or development in the State Street Corridor Area must comply with the requirements of this Section 22-8-8(B). Except for the minor amendments described in 22-14-20(C)(3)(b)(1)-(3) and (5)-(10) and Section 22-14-20(H) relating to modification of the landscaping requirement, an applicant proposing amendments to an existing site plan must bring the site into compliance with the requirements of this Section 22-8-8(B).
- a. **“Small building addition”** exception: The Gross Floor Area (GFA) of one primary building on a parcel may be expanded one time by an amount not to exceed 15% of the GFA of that building existing as of May 1, 2017, without complying with the maximum setback requirement of Section 22-8-8(B). This exception allows an addition to one existing building on a parcel and does not permit the construction of a new building that does not conform to the maximum setback. This one time “small building addition” must be constructed at the same time and may not be divided into multiple additions that combined add up to 15% or less. This small building addition shall not

be available for any building located on a parcel or part thereof that has been subdivided after May 1, 2017. Any amendments to an existing site must otherwise comply with the current ordinance requirements in accordance with Section 22-14-20(C).

- b. **Permitted Modifications to Buffered Sidewalk Requirement.** An amendment to an existing site that cannot fully comply with the buffered sidewalk requirement set forth above (eight (8) foot sidewalk and fifteen (15) foot planter strip—hereinafter referred to as the “Buffered Sidewalk Requirement”) without removing part of a building lawfully existing as of [insert council adoption date], shall only be required to comply with the Buffered Sidewalk Requirement to the greatest extent possible within the area between the back of curb and the existing building.
- i. If the distance between the back of curb and the existing building is more than eight (8) feet, a buffered sidewalk shall be constructed and maintained with eight (8) feet of sidewalk and the balance of the area between the back of curb and the edge of sidewalk maintained as:
 - 1. a landscaped planter strip if there is five (5) feet or more between the back of curb and the sidewalk;
 - 2. decorative stamped concrete or pavers and tree grates (with trees) measuring at least four (4) feet wide and four feet long and spaced no more than forty (40) feet apart where there is less than five feet but more than two feet between the back of curb and the sidewalk. Tree grates may extend into the sidewalk area up to two (2) feet provided there remains at least five (5) feet of unobstructed sidewalk width and the tree grates are installed so as to create no trip hazards (the trees to be installed shall be selected from the list contained in Appendix U, Group A);
 - 3. decorative stamped concrete or pavers where there is less than two feet between the back of the curb and the sidewalk.
 - ii. If the distance between the back of the curb and the existing building is eight feet or less, a sidewalk shall be constructed and maintained in said area. In no case shall a sidewalk be less than five (5) feet.
 - iii. In no case shall any amended site increase the nonconformity of the site with respect to the Buffered Sidewalk Requirement.
 - iv. A building existing within the Buffered Sidewalk Requirement area shall not be expanded either vertically or horizontally within the Buffered Sidewalk Requirement area.

- v. A tapered transition between areas with a full and reduced buffered sidewalk shall be designed and constructed to create an uninterrupted and continuous sidewalk. The area of the transition shall not exceed the 25 feet in length.
- 8. **Minimum Habitable Depth.** The first 30 feet of ground floor building depth closest to the State Street right-of-way shall be gross leasable area.
- 9. **Architectural Features.**
 - a. **Windows and Awnings.** Each street-facing, ground-story facade shall have a minimum percentage of 40% completely transparent window coverage that is readily visible to a depth of at least five feet into the building. All awnings shall be durable canvas or standing seam metal. Plastic awnings are not permitted.
 - i. Except for ground floor display windows and transoms, windows on all stories of the building shall be vertical or square in proportion.
 - b. **Vertical Facade Articulation.** All street-facing facades shall have a vertical break of at least one foot for every 50 feet of building façade.



- c. **Horizontal Weighting of Materials.** Building wall materials shall be combined on each facade horizontally only, with the traditionally heavier elements (material or weight) below lighter elements. For example, stone should not be above stucco, and brick should not be below concrete.
- d. **Materials.**
 - i. Except as otherwise provided, all buildings shall be completed on street-facing facades with brick, split-face block, glass, stone, or fiber cement board (hereinafter referred to as “Tier 1 Materials”). Aluminum composite material panel systems, stucco, and exterior insulation and finishing systems (EIFS) (hereinafter referred to as “Tier 2 Materials”) shall only be permitted as a trim on ground-level facades and shall only be allowed on up to a maximum of 40% of a street-facing facade and up to a maximum of 75% of a non-street facing façade.
 - ii. Standing seam metal (but no other metals) may be used for awnings. Sheet metal and corrugated metal and other metal finishes are only permitted for soffits, fascia, and similar minor architectural features (less than or equal to 5% coverage on any given elevation).
- 10. **Utility Enclosures.** Whenever possible, all utilities shall be buried. Utility access boxes and other utility appurtenances shall not be located within eight feet of the back of the curb. Utility access boxes and other utility appurtenances shall not be located within a planter strip, unless buried.
- a. Utility boxes within 15 feet of the back of sidewalk shall be screened with a fence or wall that completely screens the box from view of the street and sidewalk. The screening fence or wall must be architecturally compatible with the materials and design of the primary structure and shall in no case be lower than four feet in height or the height of the utility box, whichever is greater. Chain link fencing with slats may not be used for the screening required under this subsection. Access gates for utility boxes and appurtenances under this subsection shall not face State Street or a State Street connector street.

CITY OF OREM
CITY COUNCIL MEETING
MARCH 9, 2020



REQUEST:	6:00 P.M. SCHEDULED ITEM ORDINANCE – Amending portions of Sections 22-8-8(B) and 22-8-8(B)(3) of the Orem City Code and enacting Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) of the Orem City Code pertaining to modifications to the buffered sidewalk requirement and additional design standards for the State Street Corridor Area.
APPLICANT:	Orem City
FISCAL IMPACT:	None

NOTICES:

- Posted in 2 public places
- Posted on City webpage and City hotline
- Faxed to newspapers
- E-mailed to newspapers
- Posted at utah.gov/pa

SITE INFORMATION:

- General Plan Designation: **CC and Mix**
- Current Zone: **State Street Corridor Area (C2 and District zones)**
- Acreage: **N/A**
- Neighborhood: **Northridge, Windsor, Orem North, Sharon Park, Orem, Sharon, Hillcrest, Cherry Hill, Lakeridge, Stonewood, Orem Park, Suncrest, Geneva Heights, Timpview, Aspen**

**PLANNING
COMMISSION
RECOMMENDATION**

Vote: 7-0 for approval

PREPARED BY:

Matt Taylor, Long-Range Planner

REQUEST: The Development Services Department requests the City Council amend portions of Sections 22-8-8(B), 22-8-8(B)(3) of the Orem City Code and enact Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) to the Orem City Code pertaining to modifications to the buffered sidewalk requirement and additional design standards for the State Street Corridor Area.

BACKGROUND: Section 22-8-8 currently requires that a buffered sidewalk (consisting of an eight foot sidewalk and a 15 foot landscaped planter strip) be constructed adjacent to State Street in connection with new development and redevelopment along State Street. This requirement was adopted in an effort to beautify State Street and to make State Street more walkable.

Because the current ordinance requires that the buffered sidewalk be installed in connection with any new building or building addition, it is impossible to make an addition to some buildings that are located right at the back edge of existing sidewalk without tearing down part of the building to make room for the required buffered sidewalk (requiring a total of 23 feet). This has prevented some business owners from expanding their businesses.

In order to address this situation, staff proposes an amendment to Section 22-8-8 to make an exception to the buffered sidewalk requirement for buildings that don't currently have the necessary 23 feet between the front of the building and the back of curb to fully install the required buffered sidewalk. The proposed amendment would essentially allow a building owner to make an addition to his/her building with the requirement that they install as much of the buffered sidewalk as they can given the space they have available.

Staff also proposes to add additional design standards for the State Street Corridor area including:

- Required public building access from State Street.
- Requiring a minimum habitable floor depth along State Street.
- Minimum architectural design standards in non-district areas related to:
 - Windows and awnings.
 - Vertical facade articulation
 - Horizontal weighting of materials
 - Materials
- Standards for enclosing utility boxes.

RECOMMENDATION: The Planning Commission recommends the City Council, by

	ordinance, amend portions of Sections 22-8-8(B), 22-8-8(B)(3) of the Orem City Code, and enact Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) of the Orem City Code pertaining to the buffered sidewalk requirement and additional design standards for the State Street Corridor Area.

STATE STREET DESIGN STANDARDS



1643 State Street

Powersport-Sup
Motorcycle dealer

State St

Rent-A-Car

AGENDA



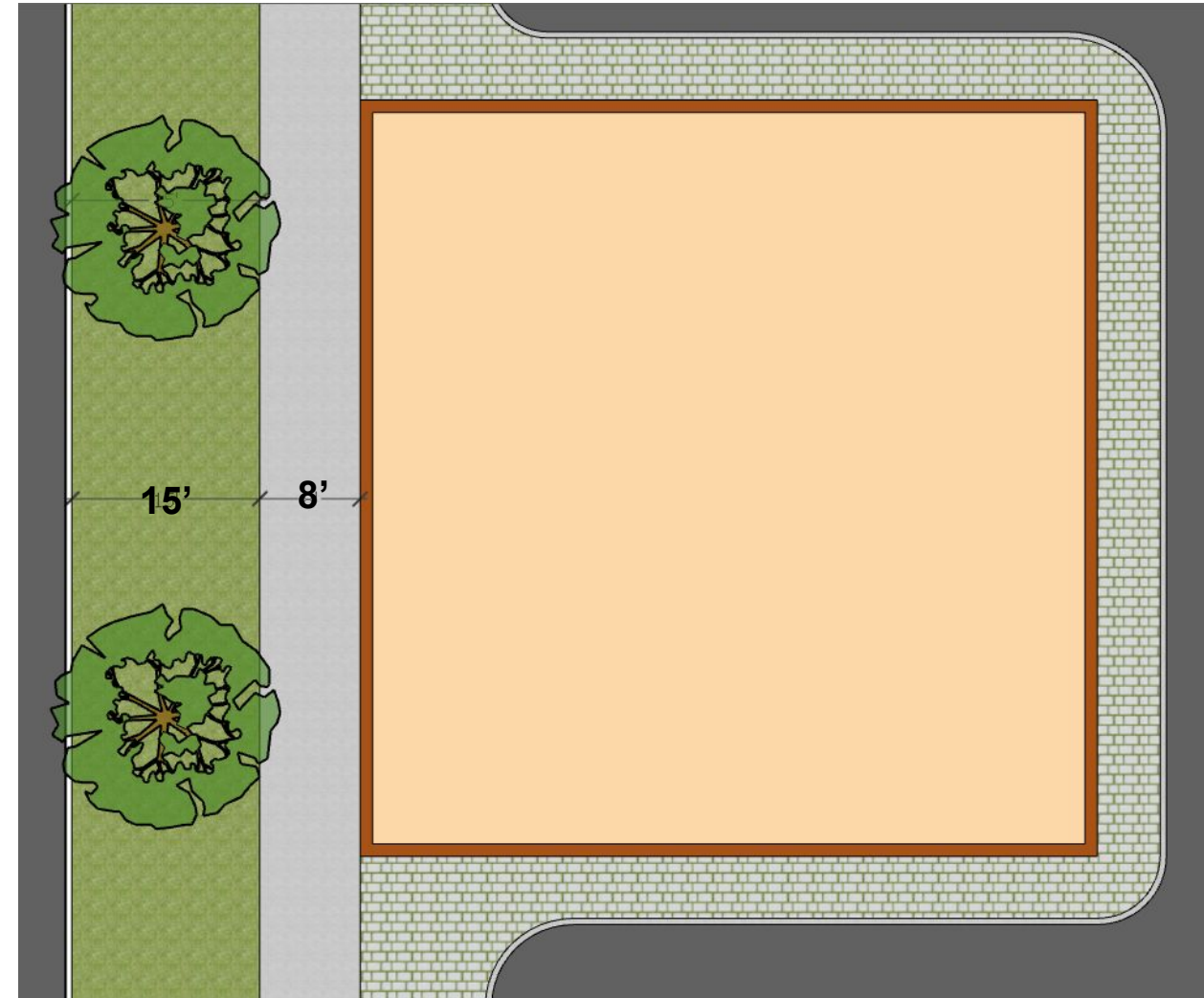
ISSUES

- OWNERS THAT WISH TO EXPAND EXISTING BUILDINGS THAT LIE WITHIN BUFFERED SIDEWALK AREAS
- ADDRESSING BASIC DESIGN GUIDELINES FOR THE GENERAL IMPROVEMENT OF THE CORRIDOR IN THE C2 ZONE BETWEEN THE DISTRICTS
- UTILITY APPURTENANCES THAT ARE DISTRACTION FROM AESTHETIC CORRIDOR GOALS

ISSUE

STATE STREET BUFFERED SIDEWALK REQUIREMENTS:

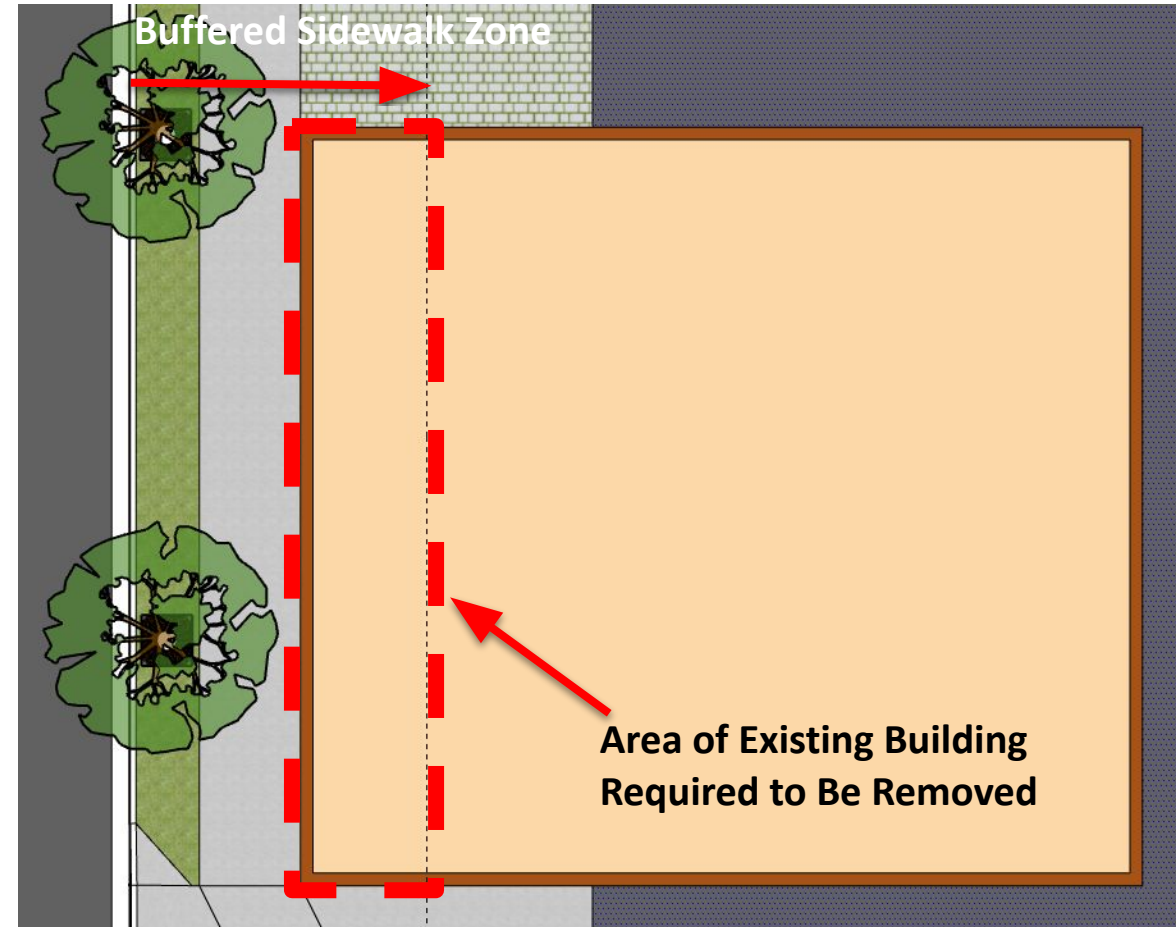
- ALL DEVELOPMENT IS REQUIRED TO INSTALL
 - 8' SIDEWALK
 - 15' LANDSCAPED PLANTER STRIP
 - TREES EVERY 40'
- WHEN A PROPERTY OWNER SEEKS EXPANSION OF AN EXISTING BUILDING, BUILDINGS WITHIN THE BUFFERED SIDEWALK AREA ARE CURRENTLY REQUIRED TO REMOVE THE PORTION OF BUILDING IN CONFLICT WITH STANDARD



ISSUE

PROHIBITIVE OF BUILDING EXPANSION AND
MAY INHIBIT BUILDING/SITE UTILITY.

PROPERTY OWNERS MAY NOT BE ABLE TO
OR INTERESTED IN MAJOR REDEVELOPMENT
AT THIS TIME



ISSUES

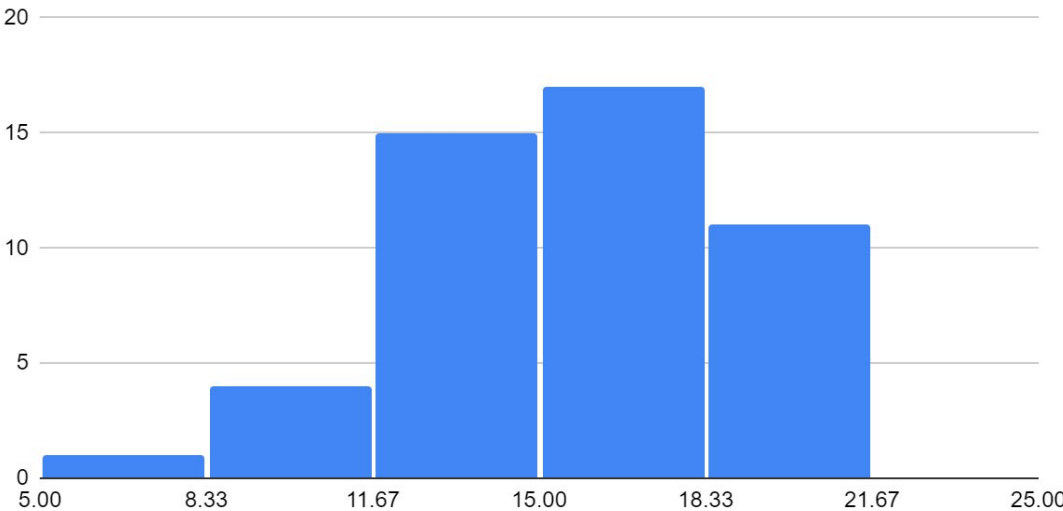
48 PROPERTIES

3.5% OF STATE STREET FRONTAGE



Min.Distance from Curb	Average Distance from Curb	Min. Planter Width	Max Reduction
8 feet	17 feet	0 feet (1 property)	15 feet

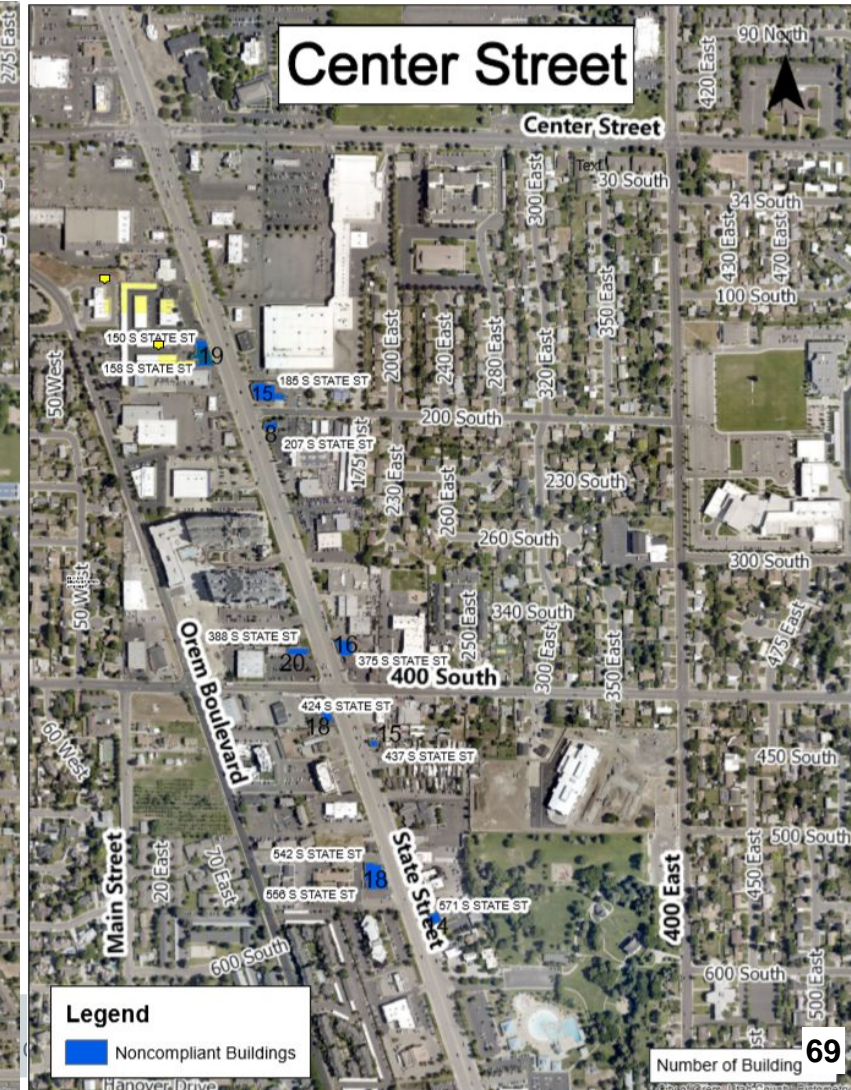
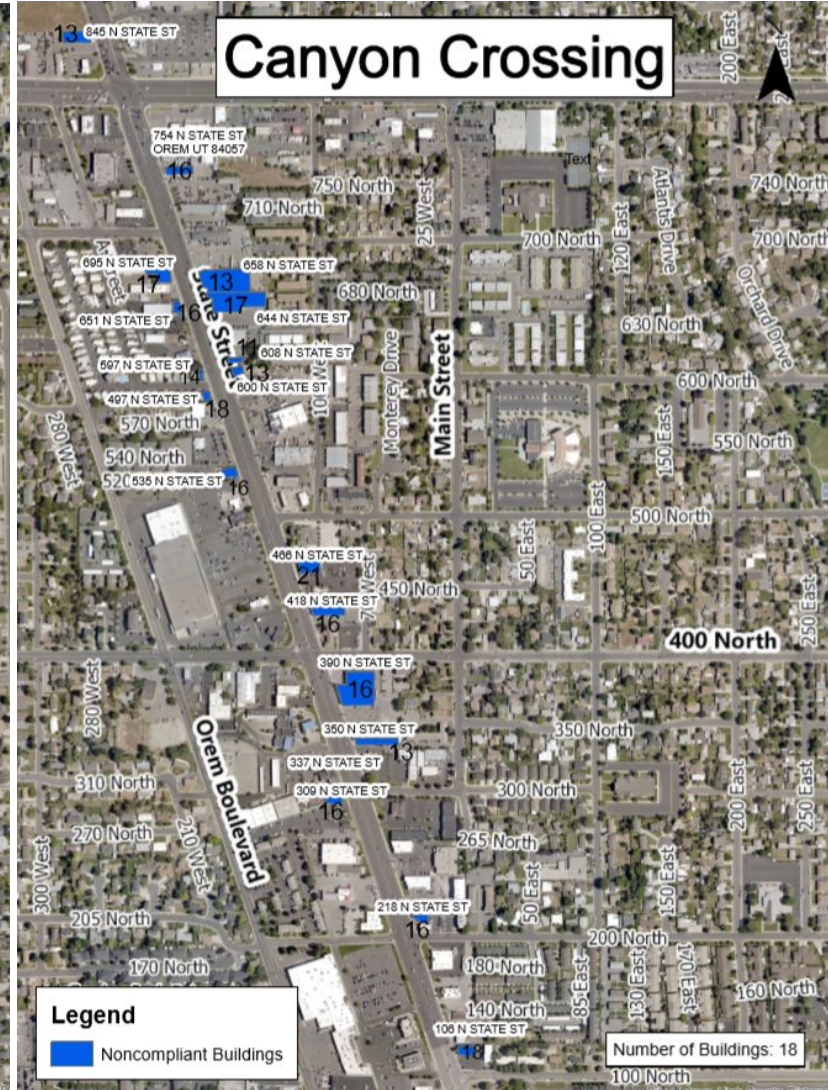
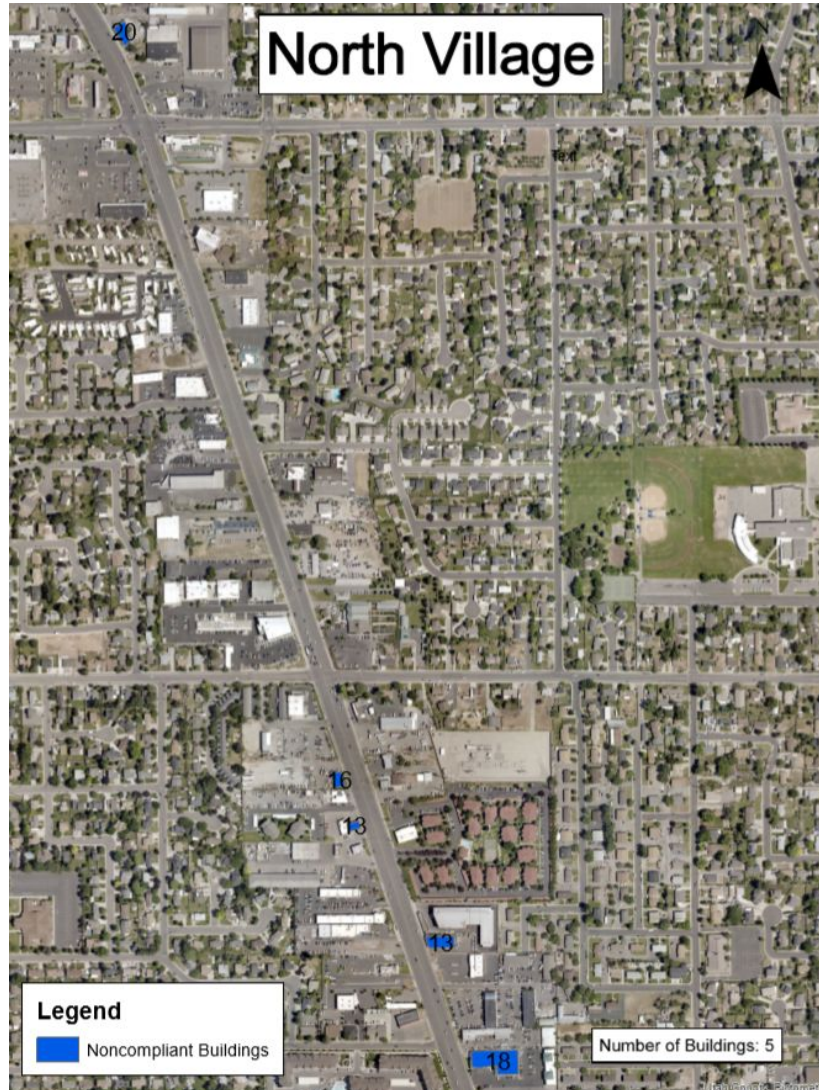
Minimum Distance from Curb



B) Min. Distance from Curb



ISSUES



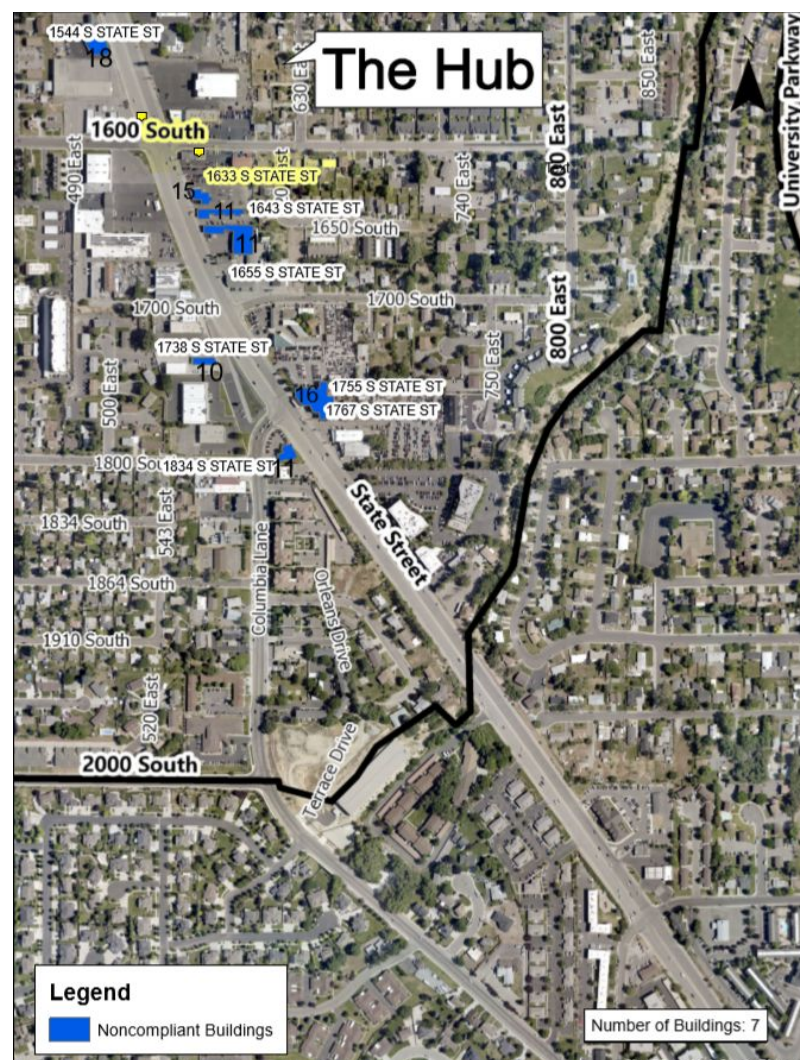
Center Street

Legend

Noncompliant Buildings

Number of Buildings: 14

Map details: The map shows an aerial view of a residential and commercial area in Salt Lake City. Center Street runs vertically through the middle. To the left, Virginia Circle and University Parkway are visible. To the right, various streets like 750 South, 800 South, 900 South, 1000 South, 1100 South, 1200 South, 1300 South, 1400 South, and 1500 South are labeled. East streets like 200 East, 300 East, 400 East, 500 East, 600 East, 700 East, 800 East, 900 East, 1000 East, 1100 East, 1200 East, 1300 East, 1400 East, and 1500 East are also labeled. Noncompliant buildings are marked with blue squares and numbers. A north arrow is in the top right corner.



DESIRED OUTCOMES

- ALLOWING PROPERTY OWNERS THE ABILITY TO IMPROVE AN EXISTING BUILDING WITHOUT RESORTING TO DEMOLITION TO COMPLY WITH STANDARDS
- PROVIDING ADDITIONAL DESIGN REQUIREMENTS WITH A LESS EXTENSIVE LEVEL OF REGULATION THAN THE DISTRICTS.
- IMPROVE CORRIDOR AESTHETICS BY REQUIRING NEEDED ABOVE GROUND UTILITY BOXES AND APPURTENANCES TO BE SCREENED

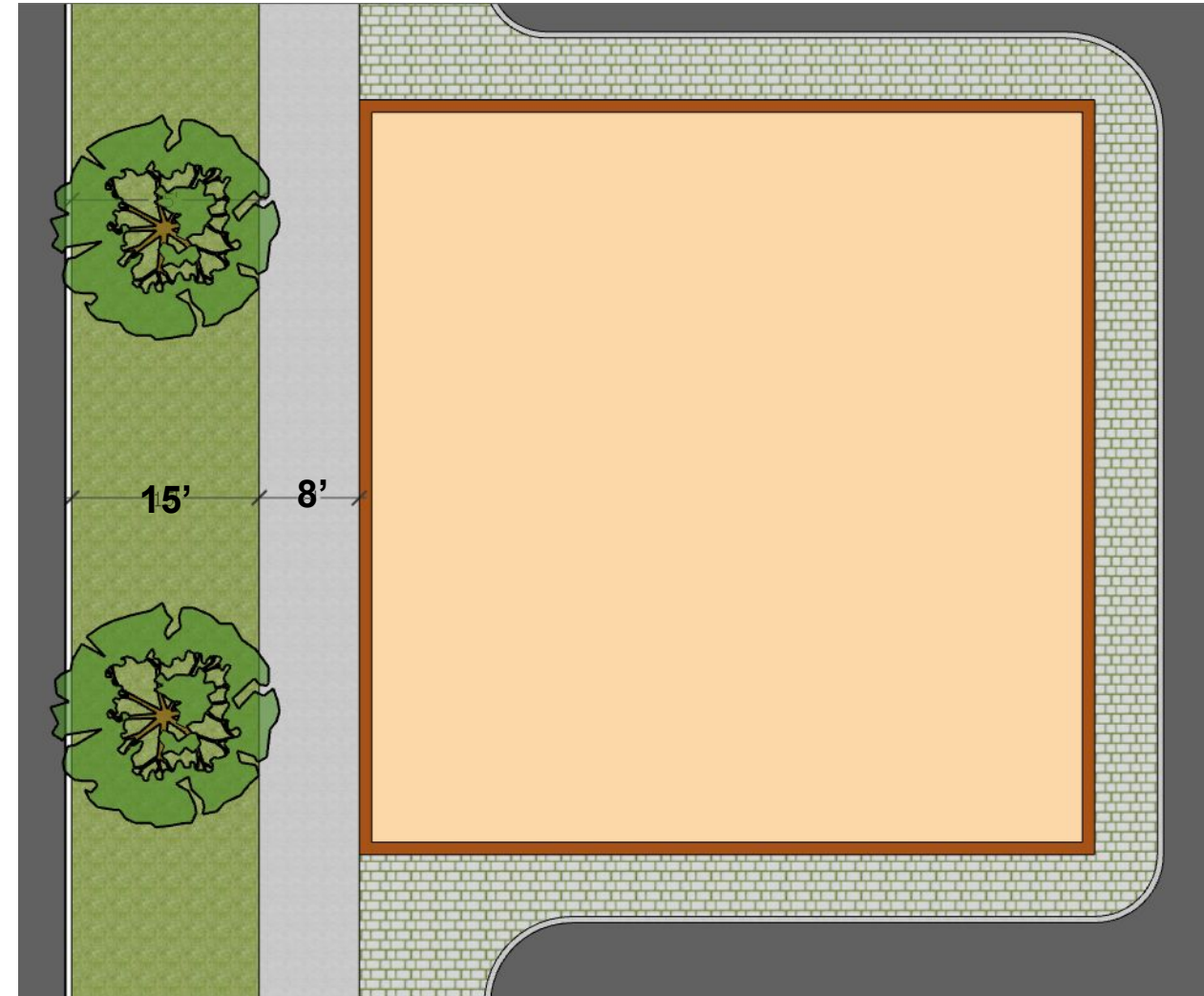


PROPOSAL

BUFFERED SIDEWALK MODIFICATIONS ALLOWED FOR NONCOMFORMING PROPERTIES WISHING TO EXPAND

PROPOSED LANGUAGE:

Permitted Modifications to Buffered Sidewalk Requirement. An amendment to an existing site that cannot fully comply with the buffered sidewalk requirement set forth above (eight (8) foot sidewalk and fifteen (15) foot planter strip—hereinafter referred to as the “Buffered Sidewalk Requirement”) without removing part of a building lawfully existing as of [insert council adoption date], shall only be required to comply with the Buffered Sidewalk Requirement to the greatest extent possible within the area between the back of curb and the existing building.



PROPOSAL

OUTCOME 1:

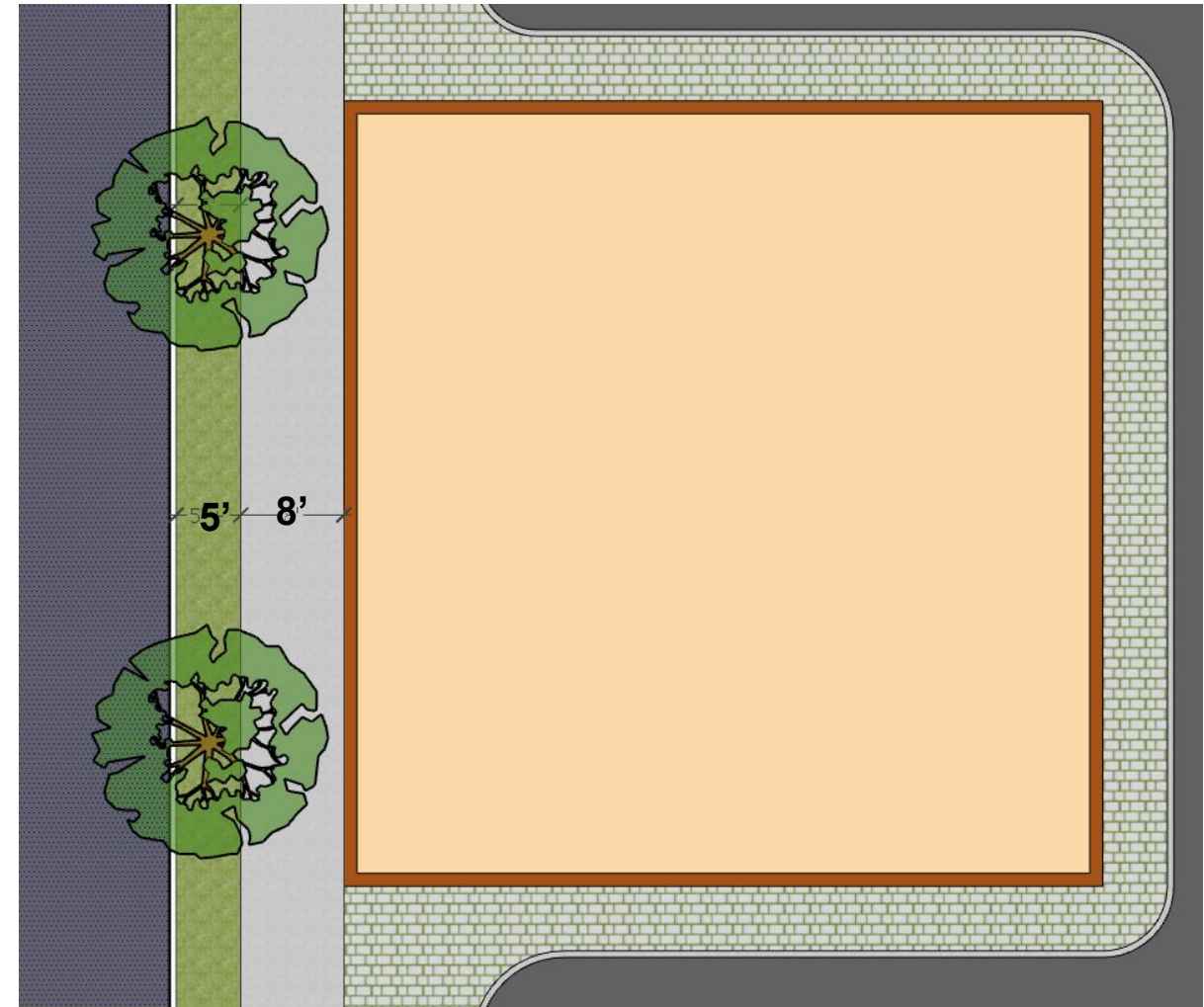
IF THE DISTANCE BETWEEN THE BACK OF CURB AND AN EXISTING BUILDING IS 13' OR GREATER:

- 8' SIDEWALK; AND
- 5 - 15' LANDSCAPED BUFFER
- TREES EVERY 40'

PROPOSED LANGUAGE:

If the distance between the back of curb and the existing building is more than eight (8) feet, a buffered sidewalk shall be constructed and maintained with eight (8) feet of sidewalk and the remainder of the area between the back of curb and the edge of sidewalk maintained as:

1. a landscaped planter strip if there is five (5) feet or more between the back of curb and the sidewalk;

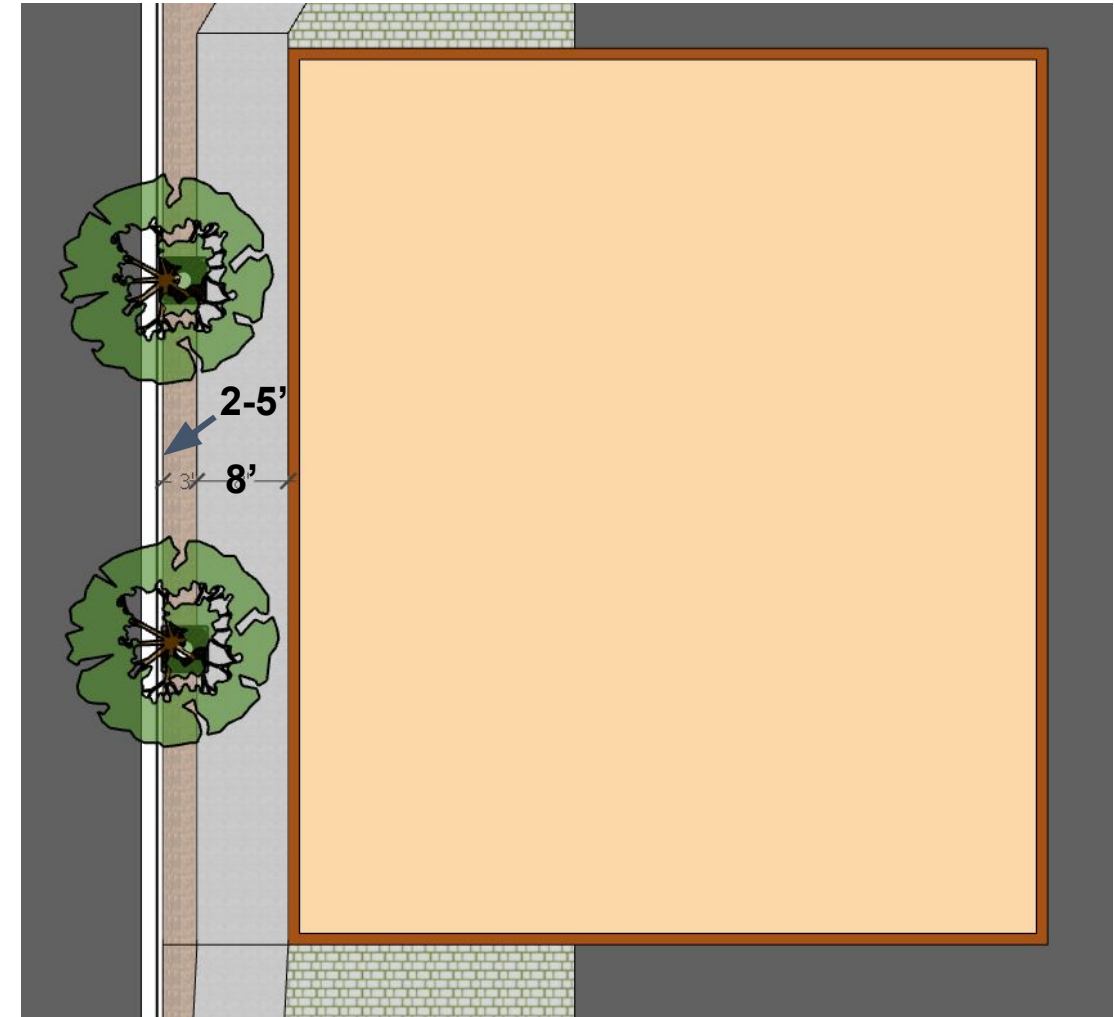


PROPOSAL

OUTCOME 2:

IF THE DISTANCE BETWEEN THE BACK OF CURB AND AN EXISTING BUILDING IS 13' TO 10':

- 8' SIDEWALK; AND
- 2-5' STAMPED CONCRETE OR PAVERS
- TREES EVERY 40' IN 4x4' GRATES
 - GRATES MAY PROJECT INTO SIDEWALK 2'.

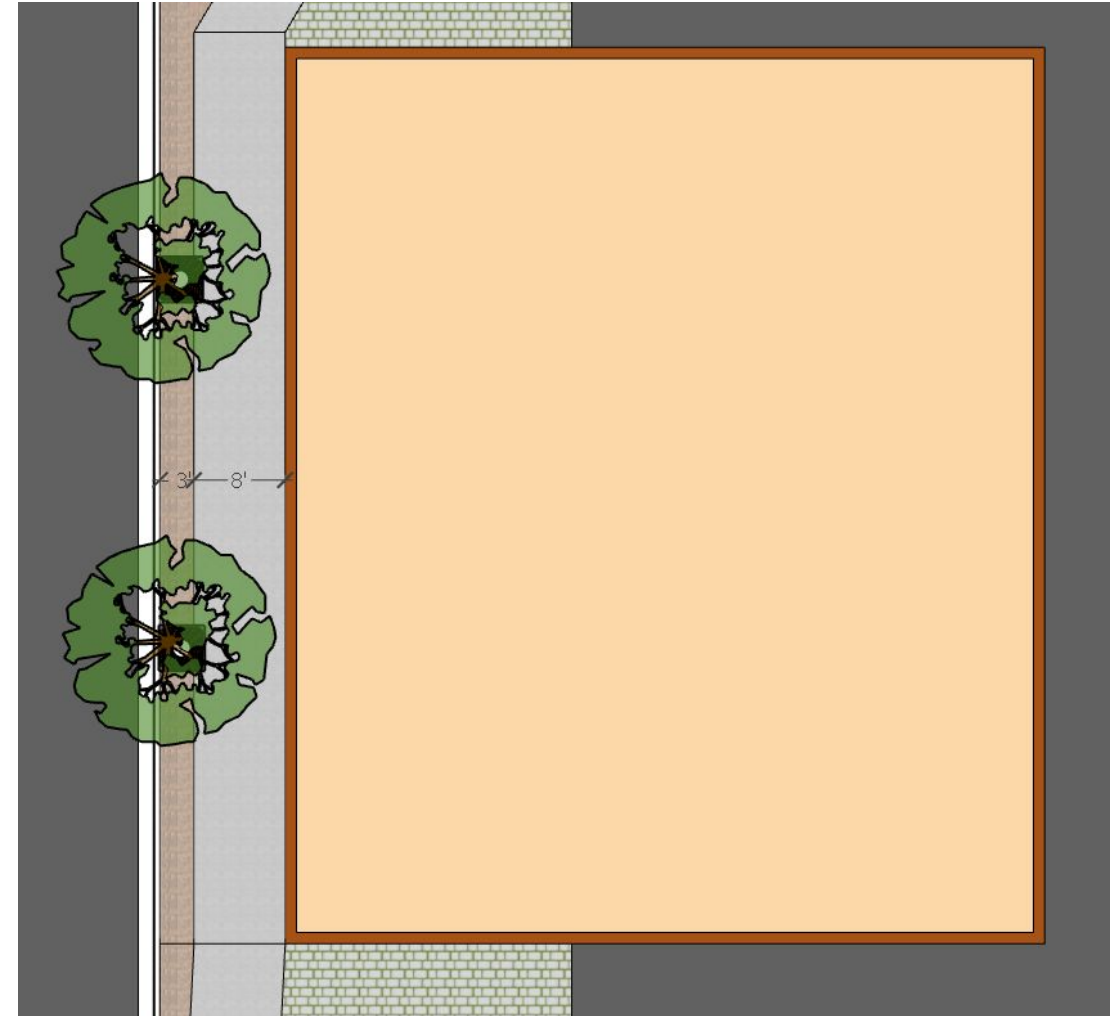


PROPOSAL

OUTCOME 2 - PROPOSED LANGUAGE:

If the distance between the back of curb and the existing building is more than eight (8) feet, a buffered sidewalk shall be constructed and maintained with eight (8) feet of sidewalk and the remainder of the area between the back of curb and the edge of sidewalk maintained as:

1. decorative stamped concrete or pavers and tree grates (with trees) measuring at least four feet wide and four feet long and spaced no more than forty (40) feet apart where there is less than five feet but more than two feet between the back of curb and the sidewalk. Tree grates may extend into the sidewalk area up to two (2) feet provided there remains at least five (5) feet of unobstructed sidewalk width and the tree grates are installed so as to create no trip hazards (the trees to be installed shall be selected from the list contained in Appendix U, Group A);



PROPOSAL INSERT PICTURE of UNIV Pkwy

OUTCOME 3:

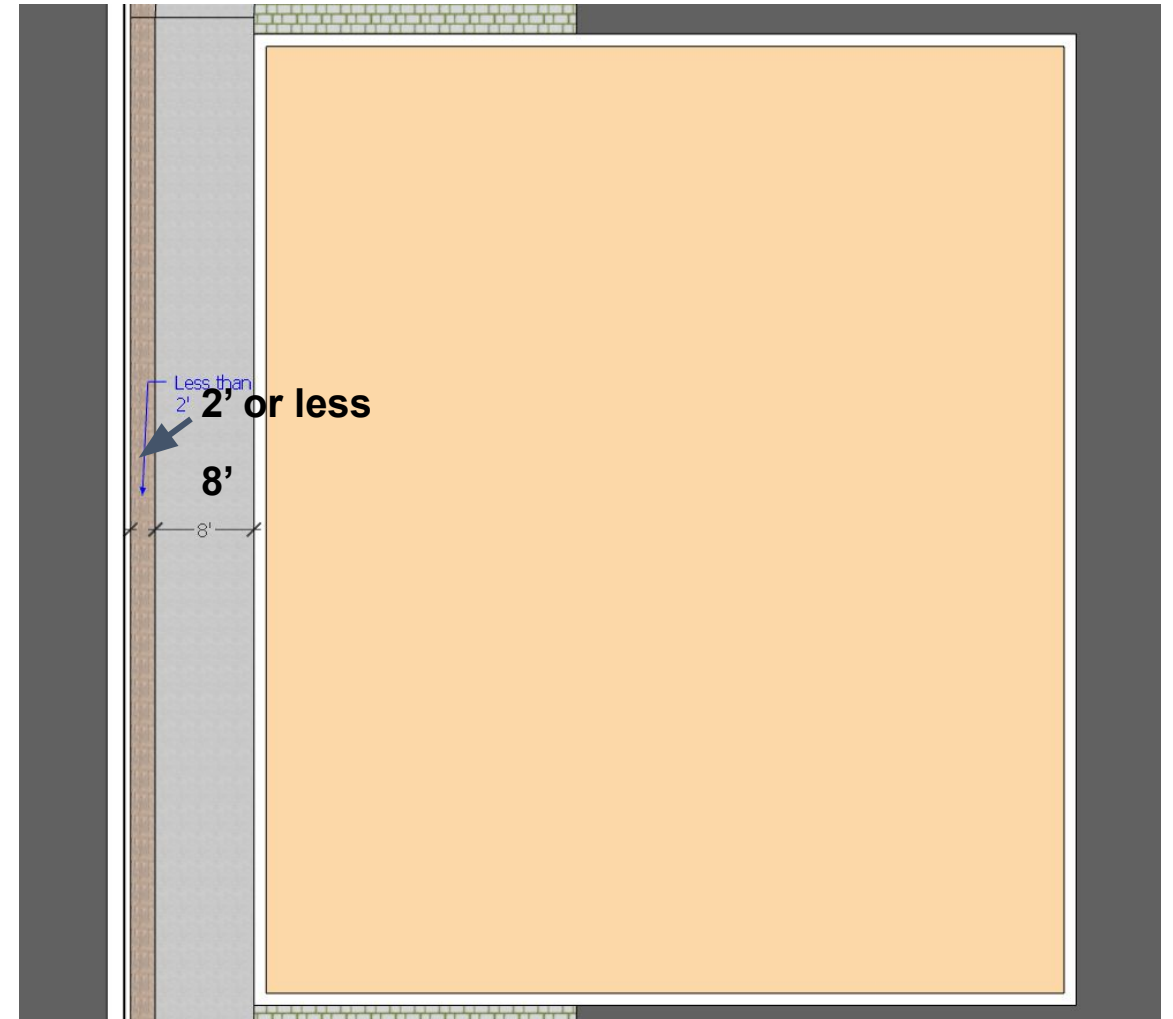
IF THE DISTANCE BETWEEN THE BACK OF CURB AND AN EXISTING BUILDING IS LESS THAN 10':

- 8' SIDEWALK; AND
- REMAINDER IN STAMPED CONCRETE OR PAVERS AND NO TREES
- VERY FEW PROPERTIES THIS CLOSE TO ROW

PROPOSED LANGUAGE:

If the distance between the back of curb and the existing building is more than eight (8) feet, a buffered sidewalk shall be constructed and maintained with eight (8) feet of sidewalk and the remainder of the area between the back of curb and the edge of sidewalk maintained as:

3. decorative stamped concrete or pavers where there is less than two feet between the back of the curb and the sidewalk.



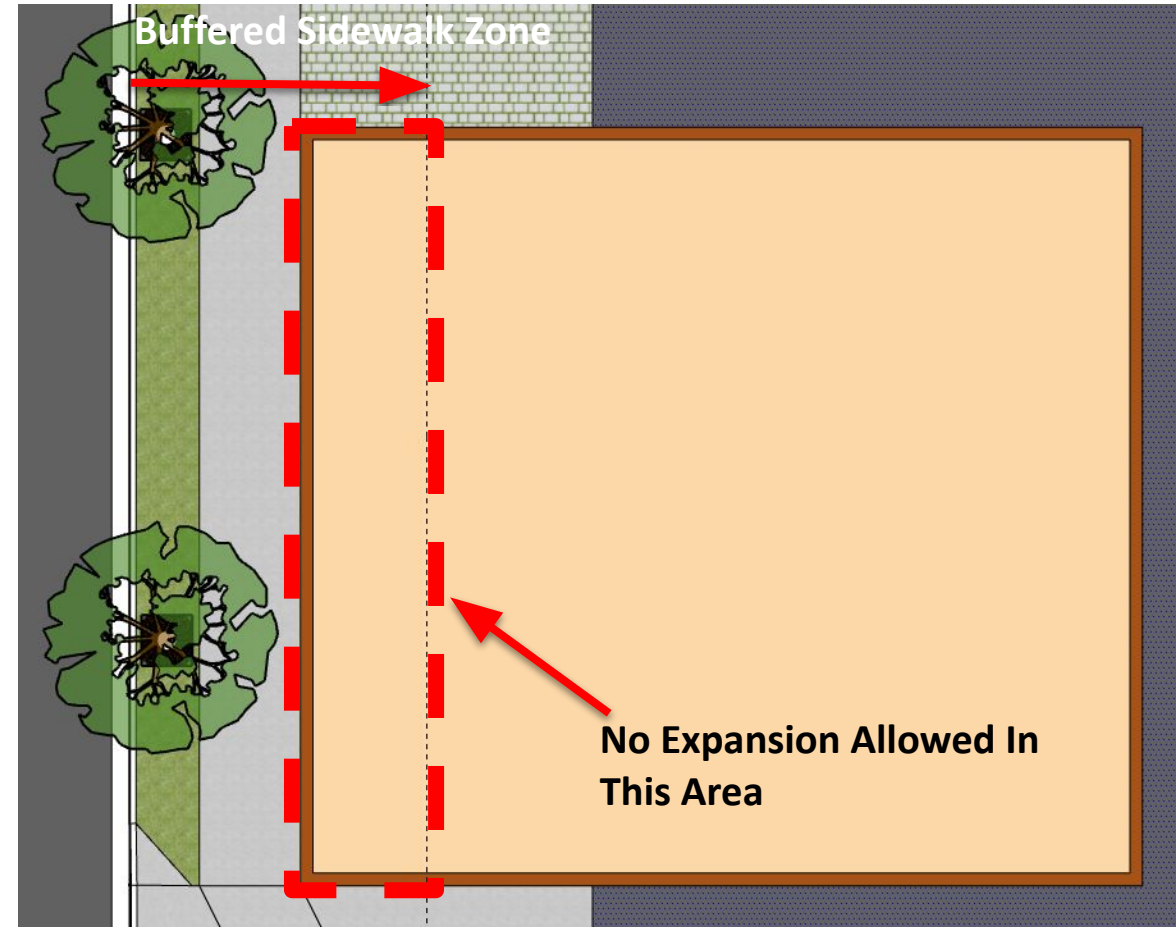
PROPOSAL

NO EXPANSION IN BUFFERED SIDEWALK AREA

PROPOSED LANGUAGE:

iii. In no case shall any amended site increase the nonconformity of the site with respect to the Buffered Sidewalk Requirement.

iv. A building existing within the Buffered Sidewalk Requirement area shall not be expanded either vertically or horizontally within the Buffered Sidewalk Requirement area.

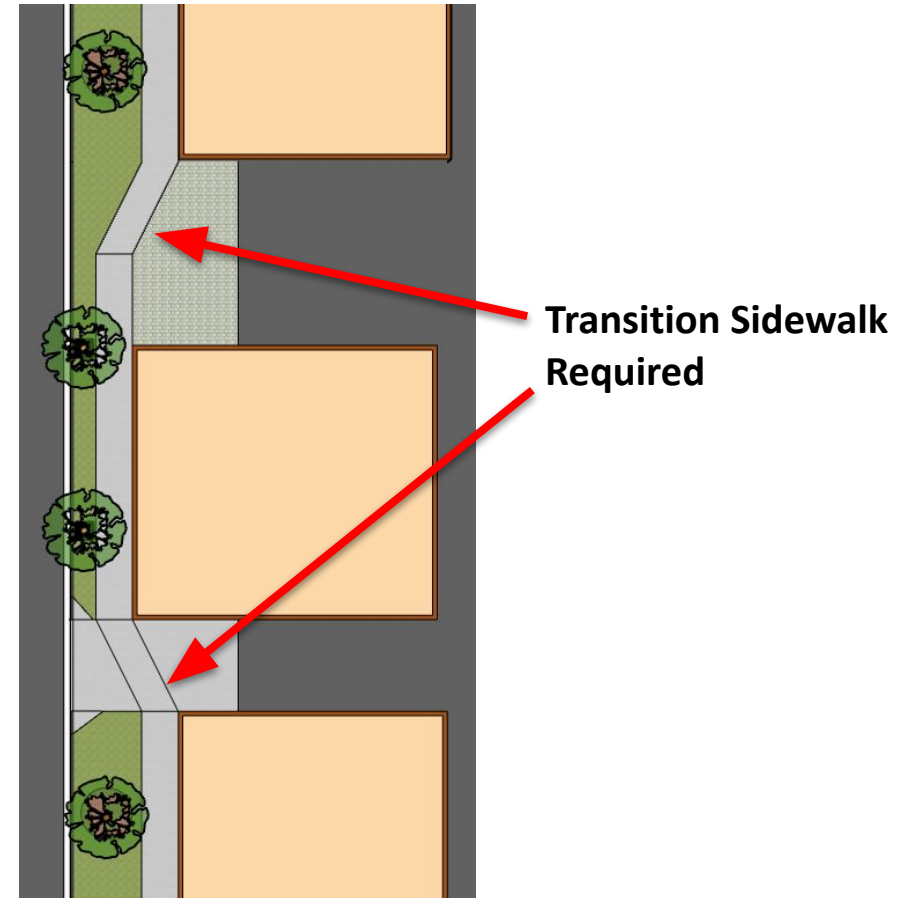


PROPOSAL

TRANSITION TO BUFFERED SIDEWALK REQUIRED

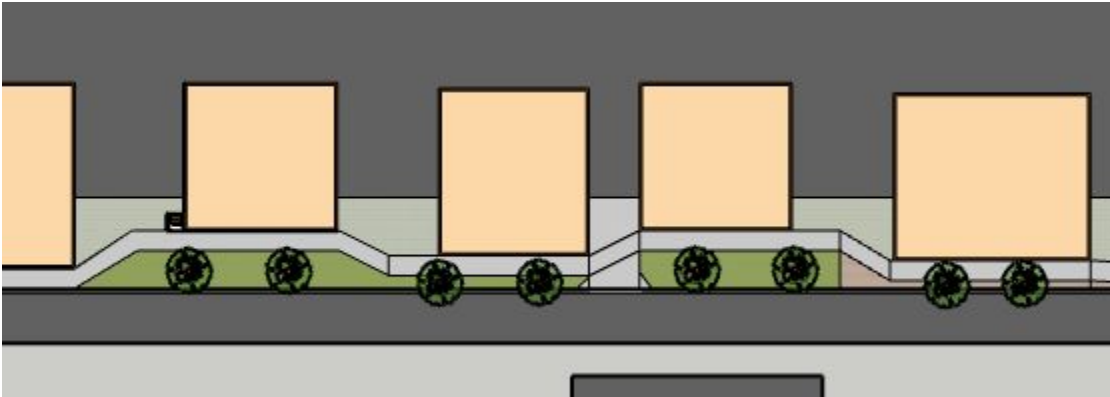
PROPOSED LANGUAGE:

v. A tapered transition between areas with a full and reduced buffered sidewalk shall be designed and constructed to create an uninterrupted and continuous sidewalk. The area of the transition shall not exceed the 25 feet in length.



PROPOSAL

TRANSITION TO BUFFERED SIDEWALK REQUIRED



This figure represents typical scenarios compressed together. We do not envision this outcome happening in the corridor in this manner.



PROPOSAL

OTHER DESIGN STANDARDS



PROPOSAL

BUILDING ACCESS FROM STATE STREET.

PROPOSED LANGUAGE:

3. Building Accesses. Buildings located on parcels that have frontage on State Street shall have at least one public access facing State Street for public, daily customer, and/or resident use. Buildings that are designed with space for multiple tenants shall have at least one such access for each tenant space. Each tenant space in a building that has more than three hundred feet of building frontage facing State Street shall have at least two such accesses. Buildings on parcels that do not have frontage on State Street, but have frontage on State Street Connector Streets shall have at least one public access facing the State Street Connector Street. Building doors directly adjacent to sidewalks shall be recessed or otherwise set back so that the door does not encroach into the sidewalk when opened.

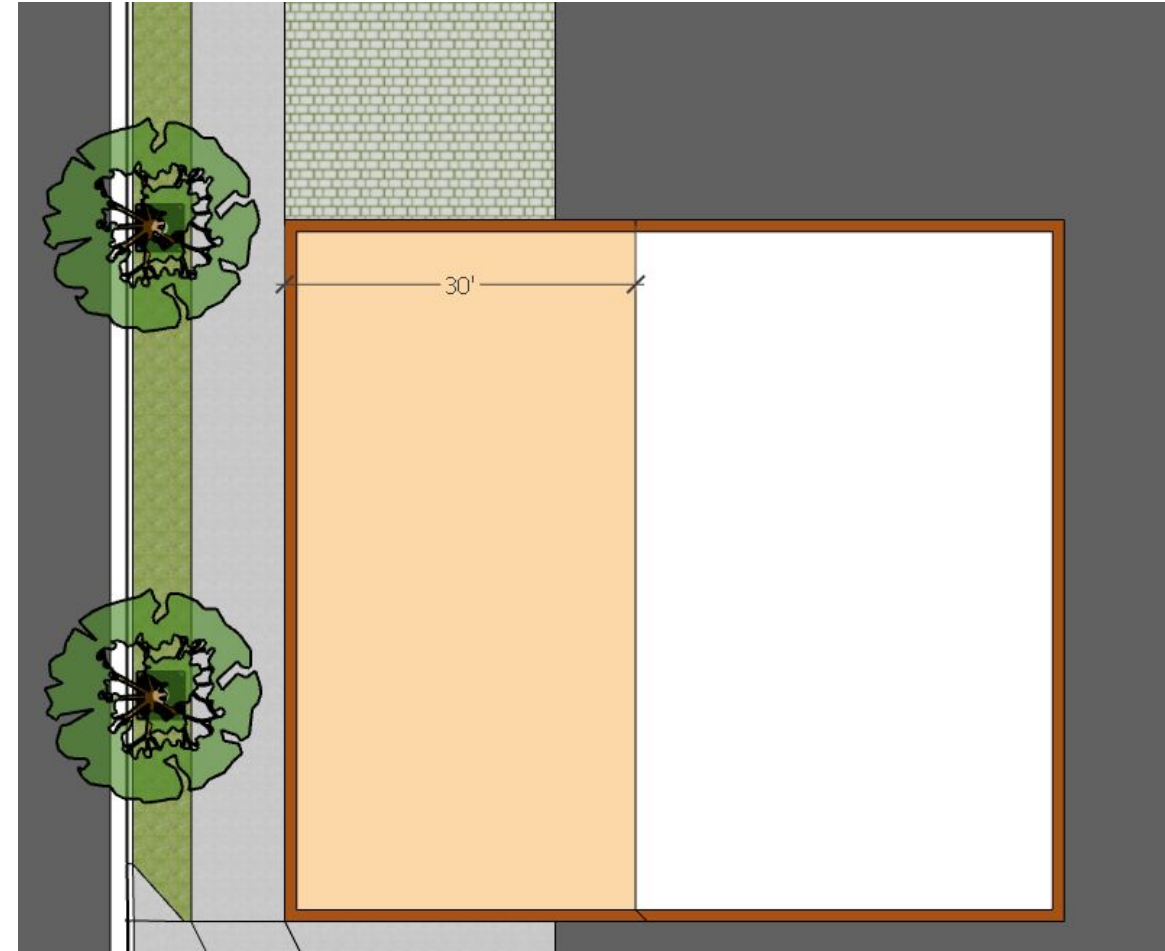
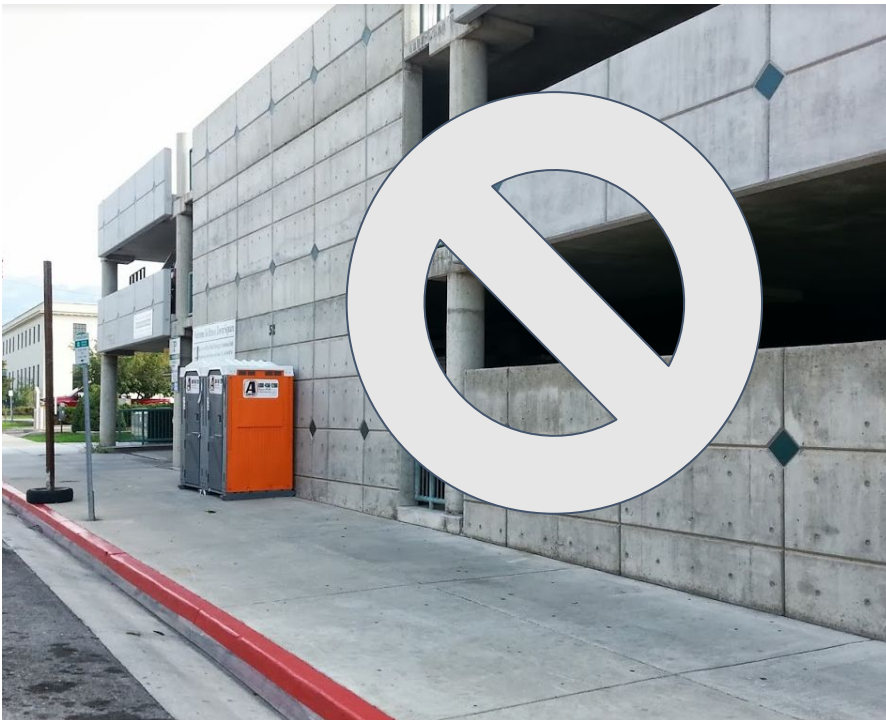


PROPOSAL

MINIMUM HABITABLE DEPTH

PROPOSED LANGUAGE:

8. Minimum Habitable Depth. The first 30 feet of ground floor building depth closest to the State Street right-of-way shall be gross leasable area.



PROPOSAL

WINDOWS AND AWNINGS

PROPOSED LANGUAGE:

9.a. Windows and Awnings. Each street-facing, ground-story facade shall have a minimum percentage of 40% completely transparent window coverage that is readily visible to a depth of at least five feet into the building. All awnings shall be durable canvas or standing seam metal. Plastic awnings are not permitted.

i. Except for ground floor display windows and transoms, windows on all stories of the building shall be vertical or square in proportion.



PROPOSAL

VERTICAL FACADE ARTICULATION

PROPOSED LANGUAGE:

9.b. Vertical Facade Articulation. All street-facing facades shall have a vertical break of at least one foot for every 50 feet of building façade.



PROPOSAL

MATERIAL WEIGHTING

PROPOSED LANGUAGE:

9.c. Horizontal Weighting of Materials. Building wall materials shall be combined on each facade horizontally only, with the traditionally heavier elements (material or weight) below lighter elements. For example, stone should not be above stucco, and brick should not be below concrete.



PROPOSAL

MATERIALS

PROPOSED LANGUAGE:

9.d. Materials.

i. Except as otherwise provided, all buildings shall be completed on street-facing facades with **brick, split-face block, glass, stone, or fiber cement board** (hereinafter referred to as “**Tier 1 Materials**”). **Aluminum composite material panel systems, stucco, and exterior insulation and finishing systems (EIFS)** (hereinafter referred to as “**Tier 2 Materials**”) shall only be permitted as a trim on ground-level facades and shall only be allowed on up to a maximum of 40% of a street-facing facade and up to a maximum of 75% of a non-street facing façade.

ii. Standing seam metal (but no other metals) may be used for awnings. Sheet metal and corrugated metal and other metal finishes are only permitted for soffits, fascia, and similar minor architectural features (less than or equal to 5% coverage on any given elevation).

STREET-FACING FAÇADE
MATERIAL REQUIREMENTS



NON-STREET FACING FAÇADE
MATERIAL REQUIREMENTS



PROPOSAL

UTILITY ENCLOSURES

PROPOSED LANGUAGE:

10. Utility Enclosures. Whenever possible, all utilities shall be buried. Utility access boxes and other utility appurtenances shall not be located within eight feet of the back of the curb. Utility access boxes and other utility appurtenances shall not be located within a planter strip, unless buried.

a. Utility boxes within 15 feet of the back of sidewalk shall be screened with a fence or wall that completely screens the box from view of the street and sidewalk. The screening fence or wall must be architecturally compatible with the materials and design of the primary structure and shall in no case be lower than four feet in height or the height of the utility box, whichever is greater. Chain link fencing with slats may not be used for the screening required under this subsection. Access gates for utility boxes and appurtenances under this subsection shall not face State Street or a State Street connector street.



TIMELINE

PLANNING COMMISSION: FEB 17, 2021

CITY COUNCIL: MARCH 9, 2021 (TENTATIVE)



PROPOSAL

DISCUSSION ON PROPOSAL



ORDINANCE NO. _____

AN ORDINANCE BY THE OREM CITY COUNCIL AMENDING PORTIONS OF SECTIONS 22-8-8(B), 22-8-8(B)(3) OF THE OREM CITY CODE, AND ENACTING SECTIONS 22-8-8(B)(7)(B), 22-8-8(B)(8), 22-8-8(B)(9), AND 22-8-8(B)(10) OF THE OREM CITY CODE PERTAINING TO THE BUFFERED SIDEWALK REQUIREMENT AND ADDITIONAL DESIGN STANDARDS FOR THE STATE STREET CORRIDOR AREA

WHEREAS on October 23, 2020, the Development Services Department filed an application to amend portions of Section 22-8-8(B) of the Orem City Code pertaining to the buffered sidewalk requirement and additional design standards for the State Street Corridor area; and

WHEREAS a public hearing considering the subject application was held by the Planning Commission on February 17, 2020 and the Planning Commission recommended the City Council approve the application; and

WHEREAS a public hearing considering the subject application was held by the City Council on March 9, 2021; and

WHEREAS the agendas of the Planning Commission meeting and the City Council meeting at which the subject application was heard were posted at the Orem Public Library, on the Orem City webpage and at the City offices at 56 North State Street; and

WHEREAS the matter having been submitted and the City Council having fully considered the request as it relates to the health, safety and general welfare of the City; the orderly development of land in the City; the effect upon surrounding neighborhoods; and the special conditions applicable to the request.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF OREM, UTAH, as follows:

1. The City Council finds this request is in the best interest of the City because it provides an exception to the buffered sidewalk requirement that will allow the owners of existing buildings in the State Street Corridor area that can't fully comply with the buffered sidewalk requirement to still make additions to their

buildings provided they comply with the buffered sidewalk requirement to the greatest extent possible.

- 2. The City Council hereby amends portions of Sections 22-8-8(B), 22-8-8(B)(3) of the Orem City Code, and enacts Sections 22-8-8(B)(7)(b), 22-8-8(B)(8), 22-8-8(B)(9), and 22-8-8(B)(10) of the Orem City Code as shown in Exhibit “A” which is attached hereto and incorporated herein by reference.
- 3. This ordinance shall take effect immediately upon passage and publication in a newspaper of general circulation in the City of Orem.
- 4. If any part of this ordinance shall be declared invalid, such decision shall not affect the validity of the remainder of this ordinance.
- 5. All other ordinances and policies in conflict herewith, either in whole or part, are hereby repealed.

Richard F. Brunst, Jr., Mayor

ATTEST:

JoD’Ann Bates, City Recorder

COUNCILMEMBER	AYE	NAY	ABSTAIN
Mayor Richard F. Brunst	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Lambson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Debby Lauret	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Macdonald	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Terry Peterson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Spencer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brent Sumner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Exhibit A

22-8-8. Zone Development Standards.

....

B. Zone Development Standards for the State Street Corridor Area. The following

requirements shall apply to all development in the State Street Corridor Area including development in PD zones and the State Street District zones, unless the applicable PD zone or State Street District zone contains a specific, contrary standard in which case the standard set forth in the applicable PD or State Street District zone shall control. The "State Street Corridor Area" refers to all lots that have frontage on State Street or frontage on a State Street Connector Street (that portion of a public street that intersects with and is located within 500 feet of the State Street right-of-way line). If not specifically governed by a provision of this Section 22-8-8(B), the "General Zone Development Standards" of 22-8-8 (A) shall apply to development in the PO, C1, C2, C3, and HS zones.

1. Minimum and Maximum Setbacks From State Street and From State Street Connector Streets. All buildings in the State Street Corridor Area shall be set back no more than ten feet (10') from the back of the required sidewalk (the side furthest from the street) along State Street and State Street Connector Streets. There is no minimum setback from the State Street and State Street Connector Streets. Setbacks from other streets and property lines shall be as set forth in 22-8-8(A). All area within a setback (the area between the building and back of sidewalk) shall be landscaped and/or used as a "space open to the public" in accordance with subsection (5).
2. Minimum Building Height. All primary buildings in the State Street Corridor Area shall have a minimum building height of fifteen feet (15').
3. Building Accesses. Buildings located on parcels that have frontage on State Street shall have at least one public access facing State Street for public, daily customer, and/or resident use. Buildings that are designed with space for multiple tenants shall have at least one such access for each tenant space. Each tenant space in a building that has more than three hundred feet of building frontage facing State Street shall have at least two such accesses. Buildings on parcels that do not have frontage on State Street, but have frontage on State Street Connector Streets shall have at least one public access facing the State Street Connector Street. Building doors directly adjacent to sidewalks shall be recessed or otherwise set back so that the door does not encroach into the sidewalk when opened.
4. Buffered Sidewalks. Buffered sidewalks shall be installed and maintained along the entire length of property adjacent to State Street and State Street Connector Streets. Buffered

sidewalks shall include both a landscaped planter strip area with trees next to the street, and a sidewalk.

- a. Planter Strips. Planter strips along State Street shall be at least fifteen feet (15') wide and may not be used for storm water detention or management (such as a low-impact development) (see Appendix "SS"). Planter strips along State Street Connector Streets shall be at least eight feet (8') wide and may be used for storm water detention or management (such as a low impact development) (see Appendix "SS").
- b. Sidewalks. Sidewalks along State Street and State Street Connector Streets shall be a minimum of 8 feet wide and shall include ADA-compliant ramps at curb cuts and intersections with public and private streets. Landscaping such as tree grates and planter boxes may be incorporated into the required sidewalk area where approved by the City, provided a continuous minimum unobstructed width of 5 feet of sidewalk travel lane is maintained. Sidewalk widths shall be consistent with sidewalks on adjacent properties where possible (provided they also meet the 8-foot minimum width requirement), or shall otherwise taper to meet neighboring sidewalk widths to create a smooth transition across property lines.
- c. Vegetation coverage. Landscaped areas shall have a minimum of 50% living vegetation coverage. No vegetation coverage higher than 24 inches above grade shall be counted toward the total coverage requirement. No landscaping shall be required at vehicle access points, and vehicular accesses do not apply toward the total area required for vegetation coverage. Planter boxes, plants, and other vegetation outside of required landscaping areas are encouraged, but do not apply toward the total vegetation requirement.
- d. Tree position and spacing. Trees shall be planted and maintained in the planter strips along State Street and shall be spaced evenly one tree for every 40 linear feet (or fraction thereof) of landscaped frontage. Trees shall be planted in the planter strips along State Street Connector Streets and shall be spaced one tree for every 40 linear feet of landscaped frontage. Trees must be spaced to best align with neighboring properties and to maximize the potential number of trees that can be planted. Trees must also be planted in the planter strip no more than 4 feet in from the inside sidewalk edge.
- e. Tree species. Trees planted in the required planter strips along State Street and State Street Connector Streets shall consist of trees authorized in Appendix "U". (Note: specific tree species are listed for each downtown district)

- f. Accommodations for safety. Landscaping requirements may be modified where the City traffic engineer determines a modification is necessary to accommodate deceleration lanes or to maintain clear vision areas.
- 5. "Space open to the public" setback exception and height bonus: Maximum setbacks along State Street and State Street Connector Streets may be extended an additional ten feet (for a total of 20 feet from back of the required sidewalk) to accommodate outdoor dining areas or other spaces open to the public. See Section 22-2-1 for the definition and requirements to qualify as a "Space open to the public". Lots with approved "spaces open to the public" may receive an additional maximum building height bonus of 15 feet (subject to applicable setback requirements in the C3 zone). Buildings with this added height must remain set back from residentially-zoned properties a distance equal to the (new) height of the building.
- 6. Signs. Monument signs shall be set back a minimum of eight (8') feet from the back of curb adjacent to State Street in order to accommodate any future widening without the need to relocate such signage.
- 7. Amended Sites. Notwithstanding the provisions of Section 22-14-20(G)(2) or any other provision of City Code except as provided below, any amendment to an existing site or development in the State Street Corridor Area must comply with the requirements of this Section 22-8-8(B). Except for the minor amendments described in 22-14-20(C)(3)(b)(1)-(3) and (5)-(10) and Section 22-14-20(H) relating to modification of the landscaping requirement, an applicant proposing amendments to an existing site plan must bring the site into compliance with the requirements of this Section 22-8-8(B).
 - a. "Small building addition" exception: The Gross Floor Area (GFA) of one primary building on a parcel may be expanded one time by an amount not to exceed 15% of the GFA of that building existing as of May 1, 2017, without complying with the maximum setback requirement of Section 22-8-8(B). This exception allows an addition to one existing building on a parcel and does not permit the construction of a new building that does not conform to the maximum setback. This one time "small building addition" must be constructed at the same time and may not be divided into multiple additions that combined add up to 15% or less. This small building addition shall not be available for any building located on a parcel or part thereof that has been subdivided after May 1, 2017. Any amendments to an existing site must otherwise comply with the current ordinance requirements in accordance with Section 22-14-20(C).

- b. Permitted Modifications to Buffered Sidewalk Requirement. An amendment to an existing site that cannot fully comply with the buffered sidewalk requirement set forth above (eight (8) foot sidewalk and fifteen (15) foot planter strip—hereinafter referred to as the “Buffered Sidewalk Requirement”) without removing part of a building lawfully existing as of [insert council adoption date], shall only be required to comply with the Buffered Sidewalk Requirement to the greatest extent possible within the area between the back of curb and the existing building.
- i. If the distance between the back of curb and the existing building is more than eight (8) feet, a buffered sidewalk shall be constructed and maintained with eight (8) feet of sidewalk and the balance of the area between the back of curb and the edge of sidewalk maintained as:
 - 1. a landscaped planter strip if there is five (5) feet or more between the back of curb and the sidewalk;
 - 2. decorative stamped concrete or pavers and tree grates (with trees) measuring at least four (4) feet wide and four feet long and spaced no more than forty (40) feet apart where there is less than five feet but more than two feet between the back of curb and the sidewalk. Tree grates may extend into the sidewalk area up to two (2) feet provided there remains at least five (5) feet of unobstructed sidewalk width and the tree grates are installed so as to create no trip hazards (the trees to be installed shall be selected from the list contained in Appendix U, Group A);
 - 3. decorative stamped concrete or pavers where there is less than two feet between the back of the curb and the sidewalk.
 - ii. If the distance between the back of the curb and the existing building is eight feet or less, a sidewalk shall be constructed and maintained in said area. In no case shall a sidewalk be less than five (5) feet.
 - iii. In no case shall any amended site increase the nonconformity of the site with respect to the Buffered Sidewalk Requirement.
 - iv. A building existing within the Buffered Sidewalk Requirement area shall not be expanded either vertically or horizontally within the Buffered Sidewalk Requirement area.

- v. A tapered transition between areas with a full and reduced buffered sidewalk shall be designed and constructed to create an uninterrupted and continuous sidewalk. The area of the transition shall not exceed the 25 feet in length.
- 8. Minimum Habitable Depth. The first 30 feet of ground floor building depth closest to the State Street right-of-way shall be gross leasable area.
- 9. Architectural Features.
 - a. Windows and Awnings. Each street-facing, ground-story facade shall have a minimum percentage of 40% completely transparent window coverage that is readily visible to a depth of at least five feet into the building. All awnings shall be durable canvas or standing seam metal. Plastic awnings are not permitted.
 - i. Except for ground floor display windows and transoms, windows on all stories of the building shall be vertical or square in proportion.
 - b. Vertical Facade Articulation. All street-facing facades shall have a vertical break of at least one foot for every 50 feet of building façade.



- c. Horizontal Weighting of Materials. Building wall materials shall be combined on each facade horizontally only, with the traditionally heavier elements (material or weight) below lighter elements. For example, stone should not be above stucco, and brick should not be below concrete.
- d. Materials.
 - i. Except as otherwise provided, all buildings shall be completed on street-facing facades with brick, split-face block, glass, stone, or fiber cement board (hereinafter referred to as "Tier 1 Materials"). Aluminum composite material panel systems, stucco, and exterior insulation and finishing systems (EIFS) (hereinafter referred to as "Tier 2 Materials") shall only be permitted as a trim on ground-level facades and shall only be allowed on up to a maximum of 40% of a street-facing facade and up to a maximum of 75% of a non-street facing façade.
 - ii. Standing seam metal (but no other metals) may be used for awnings. Sheet metal and corrugated metal and other metal finishes are only permitted for soffits, fascia, and similar minor architectural features (less than or equal to 5% coverage on any given elevation).
- 10. Utility Enclosures. Whenever possible, all utilities shall be buried. Utility access boxes and other utility appurtenances shall not be located within eight feet of the back of the curb. Utility access boxes and other utility appurtenances shall not be located within a planter strip, unless buried.
 - a. Utility boxes within 15 feet of the back of sidewalk shall be screened with a fence or wall that completely screens the box from view of the street and sidewalk. The screening fence or wall must be architecturally compatible with the materials and design of the primary structure and shall in no case be lower than four feet in height or the height of the utility box, whichever is greater. Chain link fencing with slats may not be used for the screening required under this subsection. Access gates for utility boxes and appurtenances under this subsection shall not face State Street or a State Street connector street.



City Council Agenda Item Report

Meeting Date: March 9, 2021

Submitted by: Jason Bench

Submitting Department: Development Services

Item Type: Ordinance

Agenda Section:

Subject:

PUBLIC HEARING - Amending portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones.

Suggested Action:

The Planning Commission recommends the City Council, by ordinance, amend portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones.

Presenter:

Jason Bench, Planning Division Manager

Background:

Potentially Affected Area:

Aspen, Northridge, and Windsor

Attachments:

[Agenda-NorthVillageSetbacks.docx](#)

[Text_Amendments_District-Setbacks_and_Stepbacks.docx](#)

[State Street Districts_50_75_100 feet.pdf](#)

[Setback Exhibit.JPG](#)

[Setback Table.JPG](#)

[North Village Only Map.pdf](#)

[Art District Setbacks Option 1.pdf](#)

[Arts District Setbacks Option 2.pdf](#)

[Ordinance-Enacting-NorthvillageSetbacks_Option 1.docx](#)

[Ordinance-Enacting-NorthvillageSetbacks_Option 2.docx](#)

[Neighborhood Meeting Comments_Questions_Zoom Mtg 2-17-21.pdf](#)

[Citizen email.pdf](#)

[20210209_1_MailerFront.pdf](#)

[20210209_1_MailerBack.pdf](#)

[Mailing List_Neighborhood Meeting.docx](#)

CITY OF OREM
CITY COUNCIL MEETING
FEBRUARY 23, 2021



REQUEST:	6:00 P.M. SCHEDULED ITEM PUBLIC HEARING - Amending portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones.
APPLICANT:	Development Services
FISCAL IMPACT:	None

NOTICES:

- Posted in 2 public places
- Posted on City webpage
- Posted on the State noticing website
- Faxed to newspapers

SITE INFORMATION:

General Plan Designation:

Mixed Use District

Current Zone: **North**

Village District

Acreage: **N/A**

Neighborhood: **Aspen, Northridge, and Windsor**

**PLANNING
COMMISSION
RECOMMENDATION**

7-0 for Approval

PREPARED BY:

Jason Bench, AICP
Planning Division
Manager

REQUEST: The Development Services Department requests the City Council amend portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building setback requirements in the State Street District zones.

BACKGROUND: Staff is proposing two ordinance amendments pertaining to setback requirements and setback requirements in the State Street District zones.

During a recent work session, City Councilmembers requested that staff review the setback requirements in the five State Street District zones, pertaining to setbacks from adjacent residential zone boundaries. In particular, the Council requested that staff focus on the North Village District and the Arts District zones.

Based on staff's review, staff propose an enlarged setback for buildings in the North Village District and a portion of the Arts District zones from adjoining residential property.

The proposed amendment would require any structure within fifty feet (50') of a residential zone not part of the district zones or adjacent to the Res-B zone in the North Village District (NVD-Res(B)) to be limited to 35 feet in overall height. In addition, if the residential zone is across a public street the 50-foot measurement would be from the back of curb on the district side of the street.

The current requirement pertaining to a setback being at least equal to the height of a building next to a residential property would continue to apply. Any development will be required to meet both requirements where applicable.

The proposed text of the amendment is shown below:

(North Village District)

Section 22-24-5 (F)(2)(c)

c. Setbacks From Residentially Zoned Property. No portion of any

building (including roofs and parapets) in the NVD zones may be located closer to a residentially zoned property (including the Res(B) zone but not including the Res(A) zone) than the height of that portion of the building. In addition, no structure (or any part thereof) in the Edge zone which is set back less than fifty feet from: (1) a residential zone (including the Res(B) zone but not including the Res(A) zone), or (2) the back of curb where the property across the street from the back of curb is in a residential zone not a part of the NVD zones, shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

(The Arts District (AD) Zones)

Section 22-24-4(F)(2)(c) Option 1

c. Setbacks From Residentially Zoned Property. No portion of any building (including roofs and parapets) in the AD zones may be located closer to a residentially zoned property not a part of the AD zones than the height of that portion of the building. In addition, no structure (or any part thereof) in the AD-Civ (Civic) or AD-C (Core) zones which is set back less than fifty feet from the AD-Res zone shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

Section 22-24-4(F)(2)(c) Option 2

c. Setbacks From Residentially Zoned Property. No portion of any building (including roofs and parapets) in the AD zones may be located closer to a residentially zoned property not a part of the AD zones than the height of that portion of the building. In addition, no structure (or any part thereof) in the AD-Civ (Civic) or AD-C (Core) zones which is set back less than fifty feet from: (1) a residential zone not a part of the AD zones, or (2) the back of curb where the property across the street from the back of curb is in a residential zone not a part of the AD zones, shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

Staff also proposes to modify the requirement in the State Street District zones pertaining to building setbacks. Currently, the second story of any building that contains residential uses must be stepped back a minimum of twenty feet (20') behind the building façade of the first floor when the building is four stories or more and is within thirty-five feet of a sidewalk adjacent to the street.

Staff requests a modification to this standard to require that the setback apply not to the second story, but rather to the first story above ground level that contains residential units. For example, if a building is five stories in height with the first two stories containing office uses and the top three containing residential uses, the proposed setback requirements would require

the stepback to be on the third floor instead of the second floor. The 20-foot stepback area was intended to be used as amenity space for the residential uses and the proposed amendment would promote that objective.

The text of this proposed amendment is set forth below:

(North Village District (NVD) Zones)

Section 22-24-5 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

(The Arts District (AD) Zones)

Section 22-24-4 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

(City Center District (CCD) Zones)

Section 22-24-1 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if

all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

(The Hub District (HD) Zones)

Section 22-24-2 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

(Canyon Crossing District (AD) Zones)

Section 22-24-3 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this

requirement is provided below:

RECOMMENDATION: The Planning Commission recommends the City Council, by ordinance, amend portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building stepback requirements in the State Street District zones.

North Village District (NVD) Zones**Section 22-24-5 (F)(2)(c)**

c. Setbacks From Residentially Zoned Property. No portion of any building (including roofs and parapets) in the NVD zones may be located closer to a residentially zoned property (including the Res(B) zone but not including the Res(A) zone) than the height of that portion of the building. In addition, no structure (or any part thereof) in the Edge zone which is set back less than fifty feet from: (1) a residential zone (including the Res(B) zone but not including the Res(A) zone), or (2) the back of curb where the property across the street from the back of curb is in a residential zone not a part of the NVD zones, shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

Section 22-24-5 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

The Arts District (AD) Zones**Section 22-24-4(F)(2)(c) (Option 1)**

c. Setbacks From Residentially Zoned Property. No portion of any building (including roofs and parapets) in the AD zones may be located closer to a residentially zoned property not a part of the AD zones than the height of that portion of the building. In addition, no structure (or any part thereof) in the AD-Civ (Civic) or AD-C (Core) zones which is set back less than fifty feet from the AD-Res zone shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

Section 22-24-4(F)(2)(c) (Option 2)

c. Setbacks From Residentially Zoned Property. No portion of any building (including roofs and parapets) in the AD zones may be located closer to a residentially zoned property not a part of the AD zones than the height of that portion of the building. In addition, no structure

(or any part thereof) in the AD-Civ (Civic) or AD-C (Core) zones which is set back less than fifty feet from: (1) a residential zone not a part of the AD zones, or (2) the back of curb where the property across the street from the back of curb is in a residential zone not a part of the AD zones, shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

Section 22-24-4 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

City Center District (CCD) Zones

Section 22-24-1 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

The Hub District (HD) Zones

Section 22-24-2 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.

- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

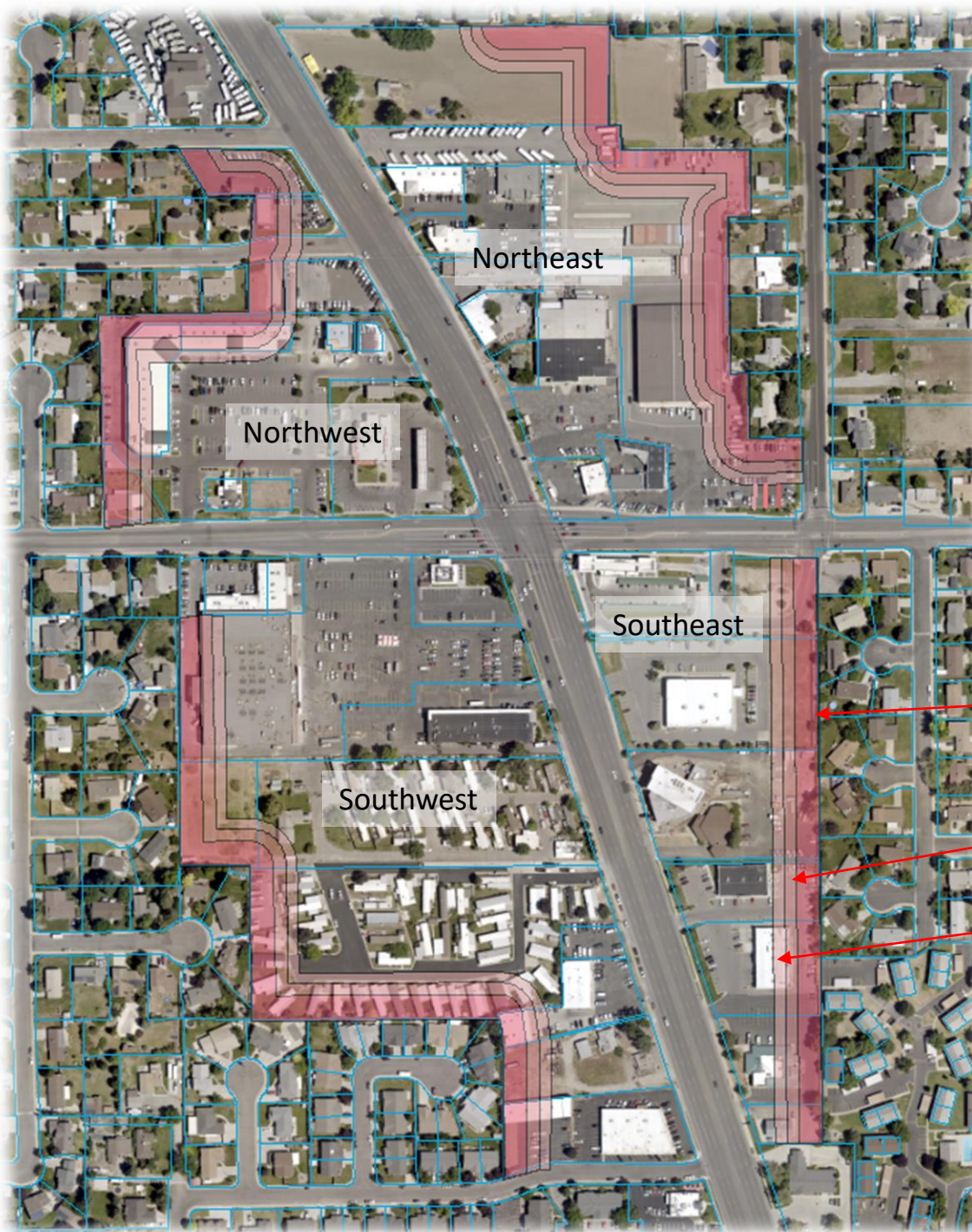
Canyon Crossing District (AD) Zones

Section 22-24-3 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

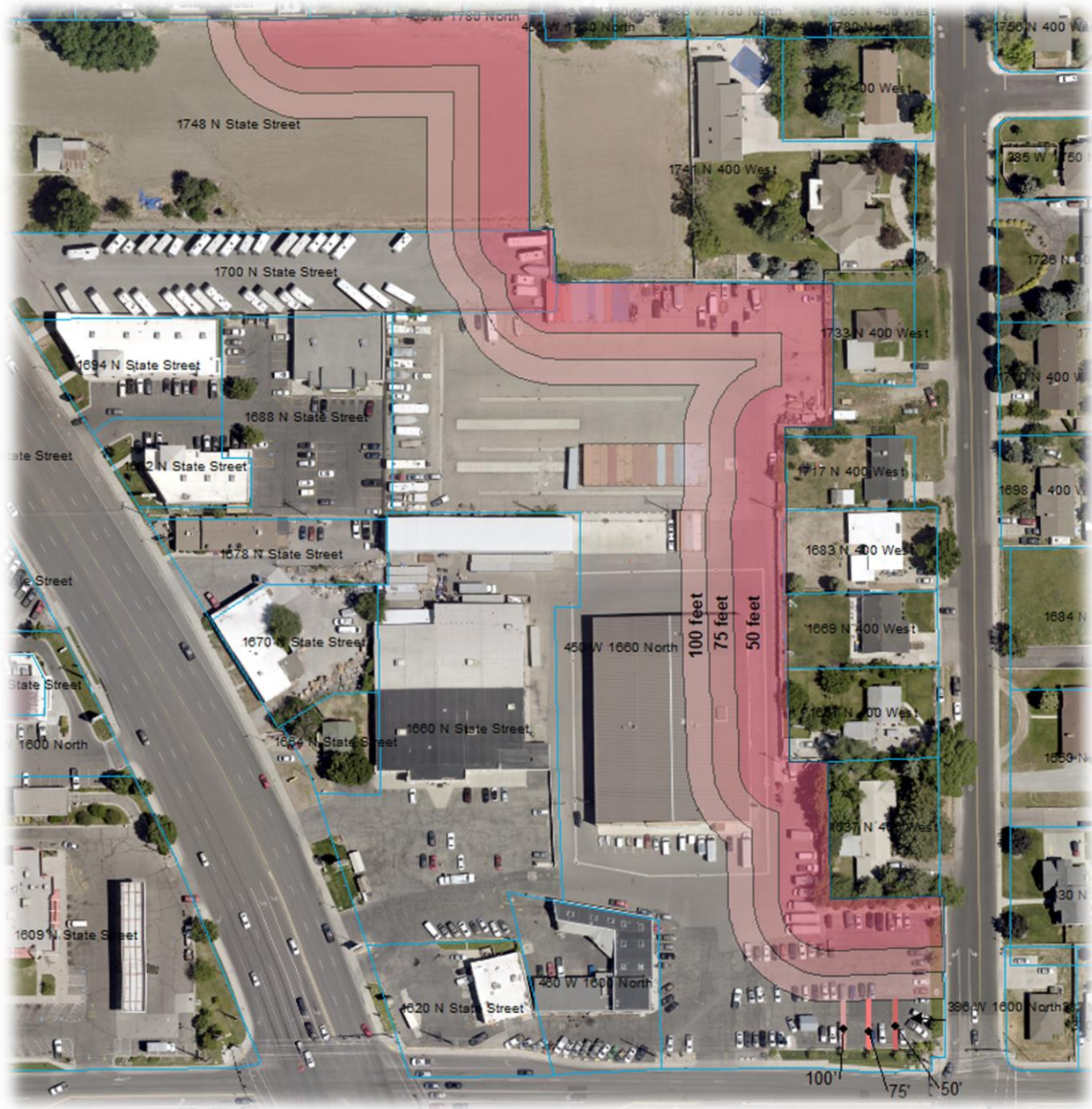
- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

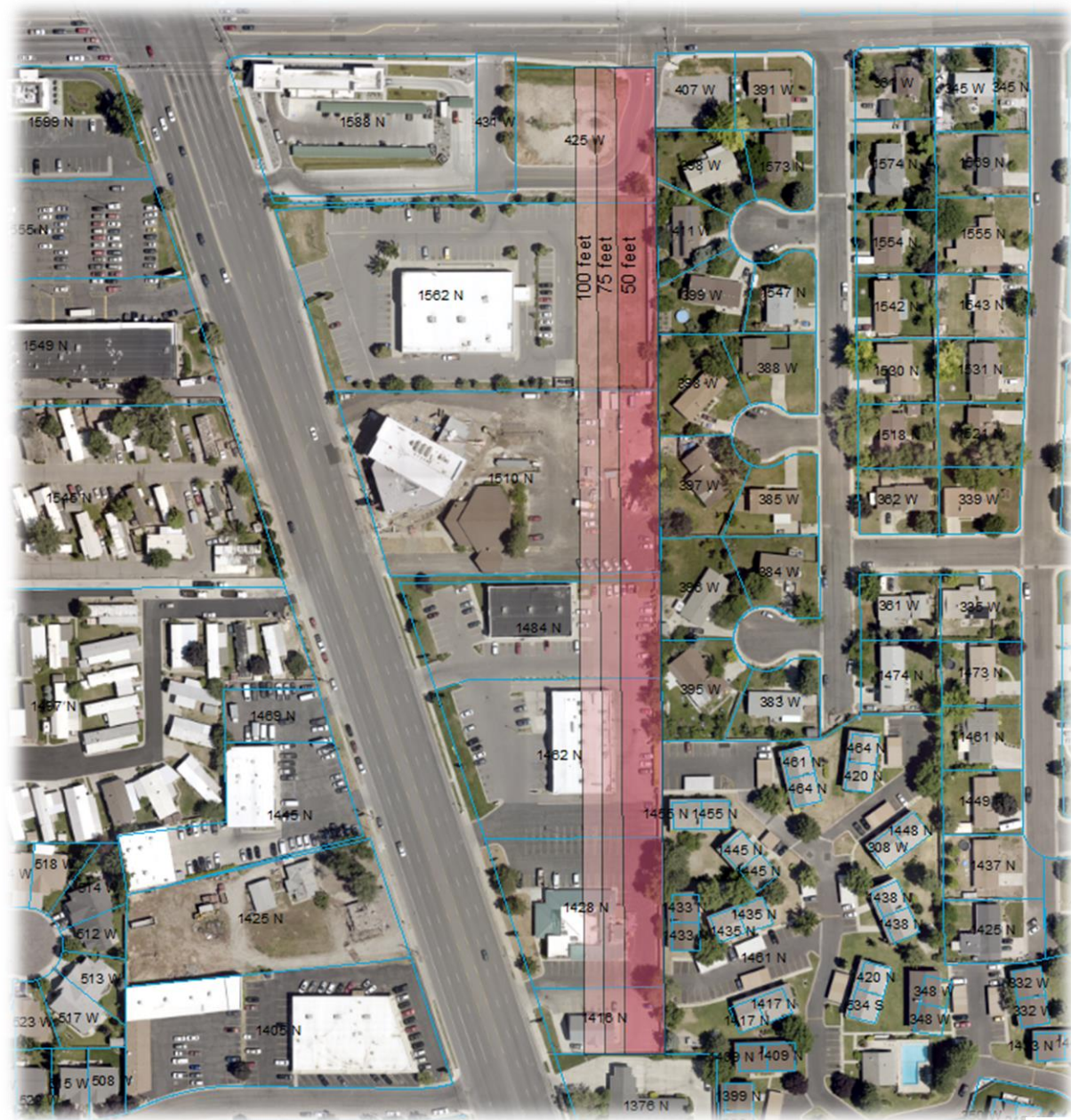


North Village District

- 50-foot setback
- 75-foot setback
- 100-foot setback



Northeast



Southeast

Dallas Auto Sales, Inc.

Messerly Ranch Investments, LLC

Millecam, Chris

TBF Properties, LLC

GMT Properties, LLC

DCM Holdings, LLC

R and M Gappmayer, LC

Cool Head Properties, LLC.

MMG Holdings, LLC

Bonilla, Armando & Maria

Albertcenter LC

RFM Real Estate, LLC

Midgley Enterprises, Inc.

Pigpen Properties, LLC

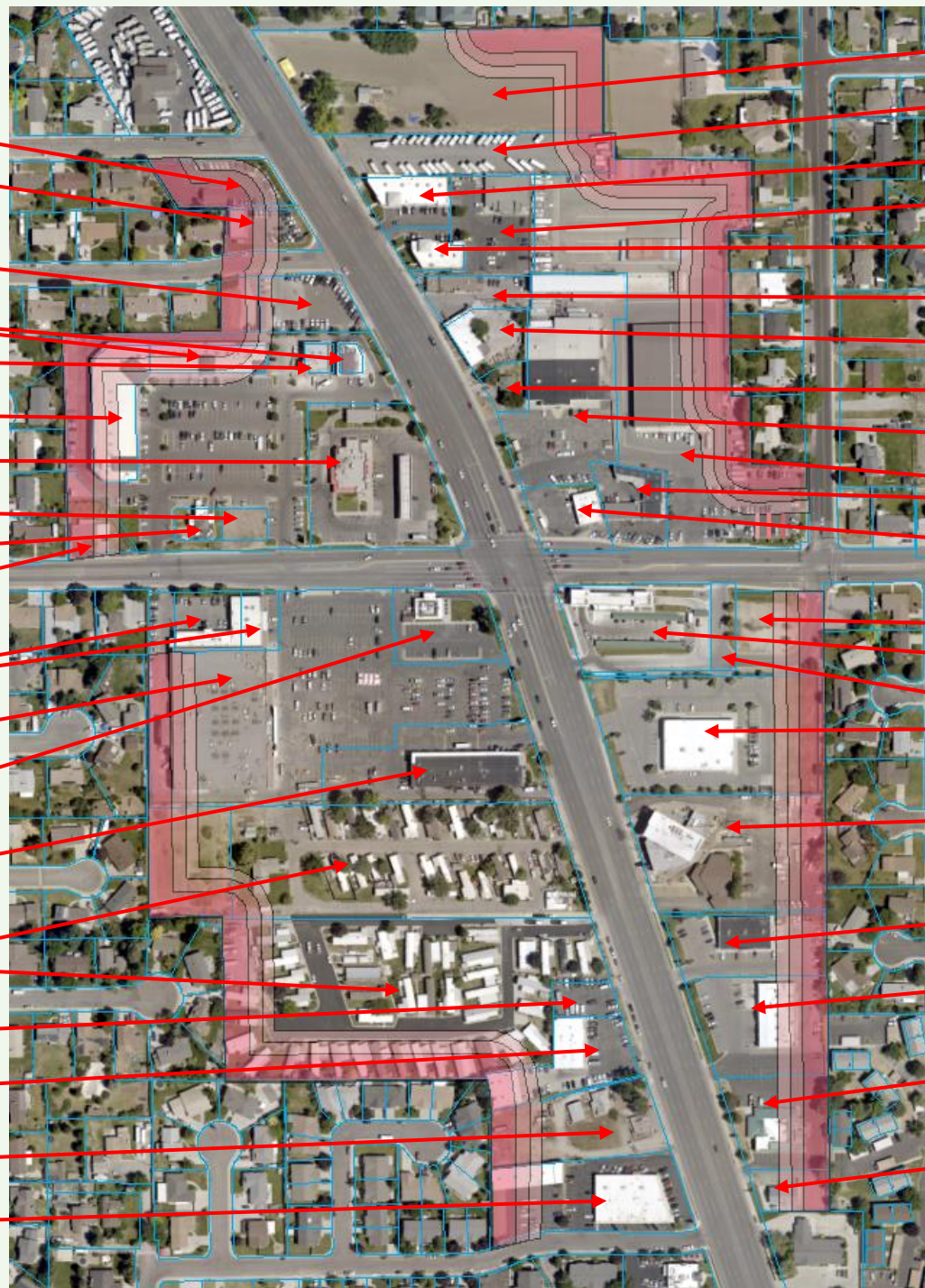
Charman Mobile Home Manor, LC

Wilson, James & Ross

Wilson, Jim & Linda

Shimada, Conrad S.

Wasatch Square, LLC



Christensen, L.

Neals RV Center Inc.

TBF Properties, LLC

Utah State Building Ownership Authority

DJ Properties Group, LLC

Intermountain Fireplace Store, LLC

Neals RV Center Inc.

Towne & Country Investments, LLC

Osmond Designs Orem LLC

OB-OK LLC

QCSIF Six LLC

City of Orem

QQ Utah County 2 LLC

6 COCO LLC

Alpine Credit Union

Russ & Cathy Witt Family, LLC

Concept American Property, LLC

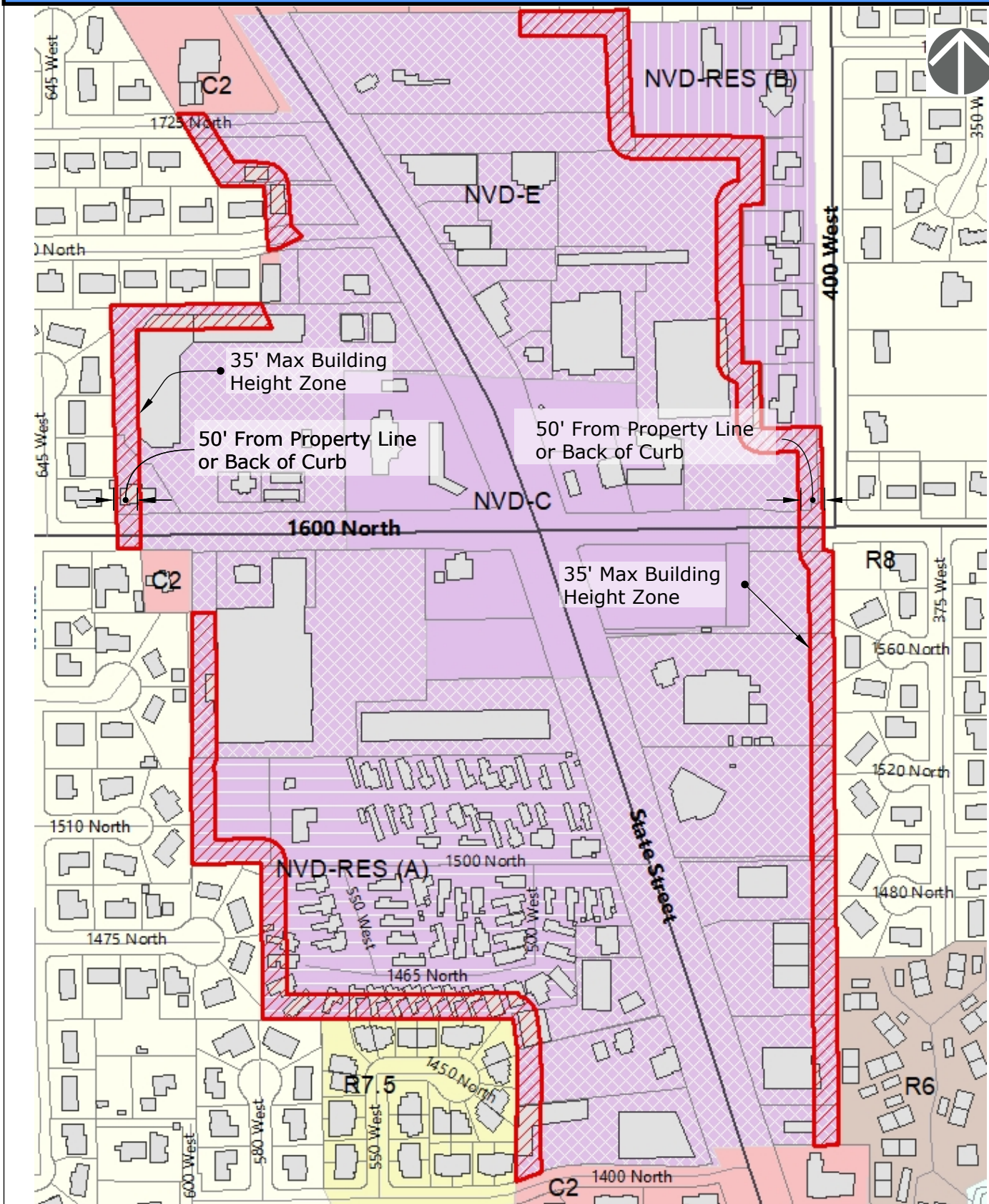
Lin's Management, LLC

Barton Investment, LLC

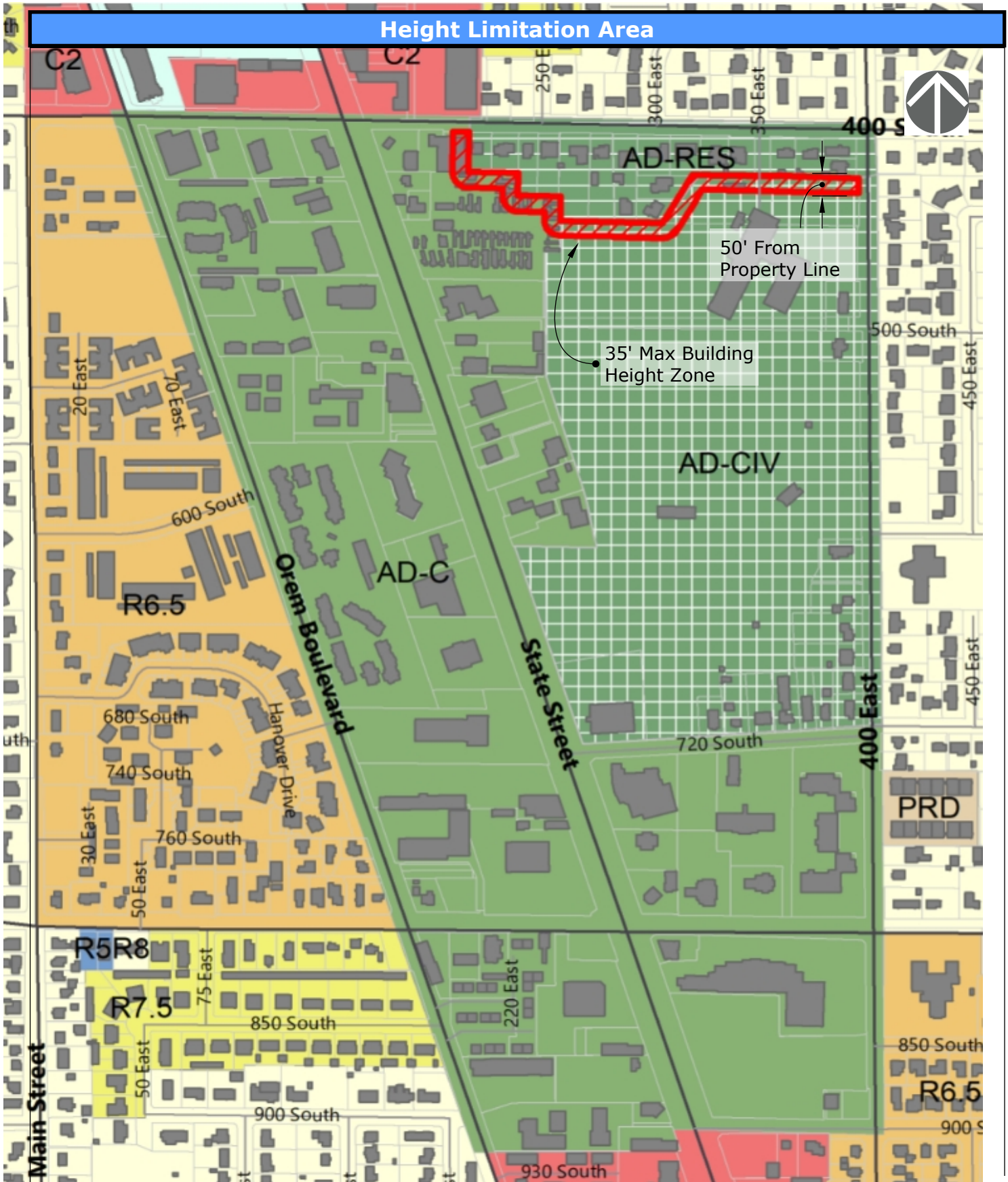
BUILDING HEIGHT	R8 ZONE	HISTORIC ZONING C2 ZONE	STATE STREET DISTRICT PROPOSAL NORTH VILLAGE ECNE STAFF PROPOSAL
15'			
25'			
30'			
35'			
40'			
45'			
50'			
55'			
60'			
NOTES:	PL = PROPERTY LINE = MORE RESTRICTIVE		

Historic Zoning		State Street District Proposal		
C2 Zone		North Village Zone		
Building Height (Feet)	Required Setback (Feet)	Building Height (Feet)	Required Setback (Feet)	
25	25	25	25	No change
30	30	30	30	No change
35	35	35	35	No change
40	40	40	50	More restrictive
45	45	45	50	More restrictive
50	50	50	50	No change
55	55	55	55	No change
60	60	60	60	No change

Height Limitation Area



Height Limitation Area



ORDINANCE NO.

AN ORDINANCE BY THE OREM CITY COUNCIL AMENDING PORTIONS OF SECTIONS 22-24-5(F)(2)(C), 22-24-5(F)(4)(C), 22-24-4(F)(2)(C), 22-24-4(F)(4)(C), 22-24-1(F)(4)(C), 22-24-2(F)(4)(C), AND 22-24-3(F)(4)(C) OF THE OREM CITY CODE PERTAINING TO SETBACK REQUIREMENTS AND BUILDING STEPBACK REQUIREMENTS IN THE STATE STREET DISTRICT ZONES

WHEREAS on January 19, 2021, Development Services filed an application requesting the City Council amend portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building stepback requirements in the State Street District zones; and

WHEREAS a public hearing considering the subject application was held by the Planning Commission on February 3, 2021 and the Planning Commission forwarded a positive recommendation; and

WHEREAS a public hearing considering the subject application was held by the City Council on February 23, 2021; and

WHEREAS the agendas of the Planning Commission meeting and the City Council meeting at which the subject application was heard were posted at the Orem Public Library, on the Orem City webpage and at the City offices at 56 North State Street: and

WHEREAS the matter having been submitted and the City Council having fully considered the request as it relates to the health, safety, and general welfare of the City; the orderly development of land in the City; the effect upon the surrounding neighborhoods; and the special conditions applicable to the request.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF OREM, UTAH, as follows:

1. The City Council finds that the proposed amendments are in the best interest of the City because they will provide an additional buffer for neighboring residential property owners from development in the State Street District zones.
2. The City Council hereby amends portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building stepback requirements in the State

Street District zones, as shown in Exhibit “A” which is attached hereto and incorporated herein by reference.

3. This ordinance shall take effect immediately upon passage and publication in a newspaper of general circulation in the City of Orem.

4. If any part of this ordinance shall be declared invalid, such decision shall not affect the validity of the remainder of this ordinance.

PASSED and APPROVED and ORDERED PUBLISHED this 23rd day of February 2021.

Richard F. Brunst, Jr., Mayor

ATTEST:

JoD’Ann Bates, City Recorder

COUNCILMEMBER	AYE	NAY	ABSTAIN
Mayor Richard F. Brunst	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Lambson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Debby Lauret	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Macdonald	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Terry Peterson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Spencer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brent Sumner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Exhibit “A”

North Village District (NVD) Zones

Section 22-24-5 (F)(2)(c)

c. Setbacks From Residentially Zoned Property. No portion of any building (including roofs and parapets) in the NVD zones may be located closer to a residentially zoned property (including the Res(B) zone but not including the Res(A) zone) than the height of that portion of the building. In addition, no structure (or any part thereof) in the Edge zone which is set back less than fifty feet from: (1) a residential zone (including the Res(B) zone but not including the Res(A) zone), or (2) the back of curb where the property across the street from the back of curb is in a residential zone not a part of the NVD zones, shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

Section 22-24-5 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

- i. The building is four stories or more in height.
- ii. The building is designed for residential uses in one or more stories.
- iii. The street-facing façade of the ground floor is within 35 feet of a sidewalk adjacent to a street.

Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

The Arts District (AD) Zones

Section 22-24-4(F)(2)(c)

c. Setbacks From Residentially Zoned Property. No portion of any building (including roofs and parapets) in the AD zones may be located closer to a residentially zoned property not a part of the AD zones than the height of that portion of the building. In addition, no structure (or any part thereof) in the AD-Civ (Civic) or AD-C (Core) zones which is set back less than fifty feet from the AD-Res zone shall exceed a height of thirty-five feet. Note: The width of adjacent public right-of-way may be included when measuring setbacks to calculate maximum permitted building heights.

Section 22-24-4 (F)(4)(c)

c. Stepbacks. The street-facing façade(s) of the lowest story that contains residential uses and all stories above shall be stepped back at least 20 feet behind the façade of the story immediately below if all of the following apply:

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City Center District (CCD) Zones

Section 22-24-1 (F)(4)(c)

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The Hub District (HD) Zones

Section 22-24-2 (F)(4)(c)

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Canyon Crossing District (AD) Zones

Section 22-24-3 (F)(4)(c)

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WHEREAS a public hearing considering the subject application was held by the Planning Commission on February 3, 2021 and the Planning Commission forwarded a positive recommendation; and

WHEREAS a public hearing considering the subject application was held by the City Council on February 23, 2021; and

WHEREAS the agendas of the Planning Commission meeting and the City Council meeting at which the subject application was heard were posted at the Orem Public Library, on the Orem City webpage and at the City offices at 56 North State Street: and

WHEREAS the matter having been submitted and the City Council having fully considered the request as it relates to the health, safety, and general welfare of the City; the orderly development of land in the City; the effect upon the surrounding neighborhoods; and the special conditions applicable to the request.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF OREM, UTAH, as follows:

1. The City Council finds that the proposed amendments are in the best interest of the City because they will provide an additional buffer for neighboring residential property owners from development in the State Street District zones.
2. The City Council hereby amends portions of Sections 22-24-5(F)(2)(c), 22-24-5(F)(4)(c), 22-24-4(F)(2)(c), 22-24-4(F)(4)(c), 22-24-1(F)(4)(c), 22-24-2(F)(4)(c), and 22-24-3(F)(4)(c) of the Orem City Code pertaining to setback requirements and building stepback requirements in the State

Street District zones, as shown in Exhibit “A” which is attached hereto and incorporated herein by reference.

3. This ordinance shall take effect immediately upon passage and publication in a newspaper of general circulation in the City of Orem.

4. If any part of this ordinance shall be declared invalid, such decision shall not affect the validity of the remainder of this ordinance.

PASSED and APPROVED and ORDERED PUBLISHED this 23rd day of February 2021.

Richard F. Brunst, Jr., Mayor

ATTEST:

JoD’Ann Bates, City Recorder

COUNCILMEMBER	AYE	NAY	ABSTAIN
Mayor Richard F. Brunst	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Terry Peterson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Spencer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brent Sumner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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Where the lowest story containing residential uses is set back at least twenty feet behind the façade of the story below as required by this subsection, at least seventy-five percent of the open roof area

of such story shall be designed for and employed as an amenity for the residential occupants of the building. An illustration of this requirement is provided below:

Zoom Neighborhood Meeting held on February 17, 2021 @ 6:00p.m.

18:11:28 From Scott KG7WHX Utah to Everyone : Just to be sure I understand the setbacks and height restrictions. If the building started 50' back from the curb they could start at 50' high?

18:11:47 From Jim Condie to Everyone : Thanks You!

18:12:26 From Windsor4 YW1 to Everyone : Is the city proposing that any of the residential homes be purchased by the city?

18:13:05 From LaNae Millett to Everyone : Could this be heard sooner by the Planning Commission?

18:14:06 From Stephanie Visnaw to Everyone : what is the possibility of increasing to 100'? 50' isn't much.

18:14:08 From Scott KG7WHX Utah to Everyone : Sorry. My name is Scott Golightly. I couldn't figure out how to change my name in this meeting.

18:14:13 From Jim Condie to Everyone : Are there any addition easements or restrictions to help protect our homes and keep them residential?

18:14:16 From Grant Allen to Everyone : Thanks Scott!

18:14:20 From Kathryn Christensen to Everyone : Does this change the size and volume of the proposed building on the corner?

18:14:52 From alishahagey to Everyone : Is it possible to push (and increase) to 100' since 50' could still cast a large shadow.

18:15:47 From LaNae Millett to Everyone : If an application is submitted will we know

18:16:04 From Jake Harding to Everyone : Windsor4 YW1, could you please provide your first and last name for the record?

18:16:15 From Windsor4 YW1 to Everyone : Melanie and Steve Lafranca

18:16:36 From alishahagey to Everyone : Good to know. Thank you.

18:17:11 From LaNae Millett to Everyone : Has O'Brien had conversations with your office recently?

18:17:11 From Stephanie Visnaw to Everyone : would be nice to rezone the NVD-E zone behind to RES-B to further buffer

18:18:31 From LaNae Millett to Everyone : If he submits an application, will he be required to have a neighborhood meeting?

18:19:52 From Stephanie Visnaw to Everyone : RES-B has no commercial element and would better suit that property. behind the homes in 400 W

18:20:39 From LaNae Millett to Everyone : I agree with Stephanie Visnaw. What do needs to happen to get you to consider it.

18:20:40 From Windsor4 YW1 to Everyone : What consideration is being made for greater traffic in our area?

18:21:09 From Stephanie Visnaw to Everyone : it's not so much the height as it is the use of that area.

18:21:11 From Kathryn Christensen to Everyone : So if the property owner meets the city regulations they can build that building no matter how the residence feel about it?

18:23:02 From LaNae Millett to Everyone : As evidenced by the Quick Quack fiasco a week ago it appears 1600 North needs a wider shoulder on both sides . Are you familiar with that problem and are there plans to remedy it.

18:24:01 From LaNae Millett to Everyone : The shoulder on both sides is not a normal shoulder, what can we do to reinstate a normal shoulder for safety reasons for pedestrians and emergency issues.

18:24:23 From J&A Lowe to Everyone : one of the plans shows an exit off 1731 north and 400 west any plans on this

18:24:41 From Windsor4 YW1 to Everyone : How do we bring up the concern about increased traffic in this area with the council?

18:24:42 From Jake Harding to Everyone : J&A Lowe, please provide your first and last names

18:24:49 From Kathryn Christensen to Everyone : Who would be paying for the sidewalk along 4th west if it was approved to put a building on the corner?

18:24:52 From J&A Lowe to Everyone : jo

18:24:58 From J&A Lowe to Everyone : josh lowe

18:25:41 From Kathryn Christensen to Everyone : Kathryn Christensen

18:26:02 From alishahagey to Everyone : It is a bit frustrating that at all these meetings, when we bring something up we are regularly told that it isn't the time and place. Can we have a meeting where it can be the time and place?

18:26:07 From Windsor4 YW1 to Everyone : Thank you!

18:26:07 From alishahagey to Everyone : The traffic is a huge issue.

18:26:12 From Jamie Davidson to Everyone : The city is currently in the process of updating its transportation master plan and traffic along 1600 N will be evaluated as part of that effort.

18:27:51 From Jake Harding to Everyone : alishahagey, just to confirm, your name is actually Alisha Hagey, correct?

18:27:57 From alishahagey to Everyone : Yes, it is

18:28:00 From Jake Harding to Everyone : Thank you.

18:28:01 From Grant Allen to Everyone : You can find contact info for Planning Staff at www.orem.org/planning-zoning

18:28:42 From J&A Lowe to Everyone : there is an empty lot 1717 north 400 west that owners have been told they. can't build- one of the pictures shows an exit connecting street are there plans from the city to move towards this

18:28:55 From Jim Condie to Everyone : Have you received any objections to the rezoning of the 8 homes?

18:29:04 From Bleyl to Everyone : Will this proposed rezone cover all homes on 400 west that are nvd-e to res-8 or just those that submitted to be changed?

18:29:21 From J&A Lowe to Everyone : what are

18:29:40 From alishahagey to Everyone : We were told we couldn't build on it because there was water underneath - by the city. Is this not the case?

18:29:43 From Jake Harding to Everyone : Bleyl, what is your last name?

18:29:53 From Bleyl to Everyone : Bill bleyl

18:30:19 From Kathryn Christensen to Everyone : in the 2015 Master Plan there is a road Purposed at 1733 N gong through to state street will that be a part of the traffic study and would the property fall into eminent domain if it was needed for the proposed building on 16th?

18:32:05 From J&A Lowe to Everyone : owners on 1717 n 400 w were told we couldn't build on it because there was water underneath - by the city. Is this not the case?

18:32:24 From Kathryn Christensen to Everyone : Would the property on 400 west be taken by the city to build that road to state street?

18:32:26 From Kat to Everyone : I was wondering the same thing.

18:32:43 From Jeff Lambson to Everyone : Thank you everyone for your input.

18:32:50 From Jake Harding to Everyone : What is your last name Kat?

18:32:53 From Ryan Clark to Everyone : An road connection would be built by a developer as the property is improved.

18:32:54 From Kat to Everyone : Bleyl
18:33:04 From Jake Harding to Everyone : Thanks
18:33:07 From Tom to Everyone : thanks jason
18:33:30 From Scott KG7WHX Utah to Everyone : Thank you

North Village District - Rezoning and Ordinances

3 messages

Stephanie Visnaw <visnaw@gmail.com>
To: planning@orem.org

Tue, Feb 16, 2021 at 1:05 PM

Planning Commission,

Ahead of the neighborhood meeting being held this Wednesday for the North Village District – rezoning 400 W – I have a few points that I'd like to bring to your awareness.

As stated in the Orem City “Code of Ordinances” (Article 22-24-5), “Purpose. The North Village District (NVD) zones are located at the City’s northern gateway. The NVD zones are intended to be more residential in nature, with neighborhood retail and smaller-scale development compared to the other four State Street Districts.” (Ord. No. O-2018-0029, Enacted 10/9/2018)

As a resident whose property abuts the North Village District, I want to thank the Commission and Council for considering the impact of commercial and high-density development on residential areas. The recent proposal to create a 50’ setback around the NVD-ResB zone is a great example of this. Upon further review of the NVD ordinances, I have a few concerns and requests:

- **Residential Rezoning** – The NVD-E and NVD-ResB zones are designed to scale back larger development as it nears residential, transitioning from commercial to mid-density residential. There has been a request submitted to change the current NVD-ResB zone along 400 W back to RES-8. If this is approved, it would make sense to rezone the portion of NVD-E adjacent to the west and south of this area to NVD-ResB. With it currently zoned NVD-E, it requires some commercial/residential mix. Changing a portion of the NVD-E zone (corner of 400 W and 1600 N as well as the area behind the homes on 400 W) to NVD-ResB with a 35’ maximum building height, would allow the stepdown from commercial to mid-density housing, as zoning ordinances are designed to do.
 - **Benefits** – Changing a portion of the NVD-E zone to NVD-ResB would allow a developer to build mid-density housing in an area that already has residential nearby without the commercial restrictions. This would alleviate some of the residents’ concerns with commercial areas creeping into the residential. State Street access is limited in this area and eliminating the commercial aspect of this property would help with easement from other surface streets.
- **Property Line Setback Requirements** – Although the 50’ setback behind the homes on 400 W is a great improvement, 50’ is not very much room to buffer from larger buildings. It would be a huge benefit to all residents near the North Village District to have this setback requirement increased to 100’ wherever NVD-E abuts a Res-8 zone without the NVD-ResB as a stepdown buffer. My home (RES-8) at 399 W 1560 N, is such a property that currently has NVD-E on the back fence line. Without doing any rezoning, increasing the 50’ setback to 100’ would help buffer from any further, large developments.
- **Street Setback Requirements** – Currently, the ordinance is to have any new build be 10’ from the sidewalk. As this may work for State Street, it is not conducive to 1600 N or other

streets in this district. Having large buildings within 10' of the sidewalk, or less, on 1600 N does not help with the residential feel as it transitions to residential areas. The "corridor" or "boulevard" look and feel should be focused on State Street only in the North Village District.

- **Commercial/Residential Access** – Allowing any connector streets from commercial businesses or State Street to 400 W would only contribute to the existing congestion. Maps show future plans for the North Village District with a connector road cutting through the area between 1600 N and 1800 N. The residents do not support any roads going through, and request that any commercial or higher density housing traffic be directed toward State Street and not 400 W.
- **Maximum Building Height** – In keeping with the purpose of the NVD zone, "with neighborhood retail and smaller-scale development compared to the other four State Street Districts," it only makes sense to limit building height in this area. The NVD-E zones currently do not have a maximum building height but are restricted by other ordinances (parking and setback requirements). In the NVD-ResB zone building height maximum is 35'. Creating a 50' maximum height in the NVD-E zones would provide a clearer transition from larger NVD-C developments and protect the property values of neighboring NVD-ResB or R8 zones.
- **Parking** – Currently the NVD-E ordinance of 1.75 parking stalls is insufficient. Limiting parking in these residential/commercial zones means that surface streets are used as overflow. The surface streets cannot handle any more congestion, whether parked or moving. The theory that mixed residential/commercial will share parking, with commercial use during the day and residential at night, may not be the case as we move forward through and out of the pandemic. Many businesses have stated that working from home will be a viable option even once the pandemic is over. More people will be home during the day, with their cars parked in these shared residential/commercial stalls. Now is a great time to address the ordinance and to increase parking requirements to at least 2 stalls per unit.

All of these ordinance and zoning changes would benefit the residents of the North Village District, as well as Orem City as a whole. Creating and maintaining a more defined and separate commercial, high-density housing, and protected residential zones, makes for a better aesthetic and functioning city. Traffic is already a major issue in Orem, with the NVD not an exception. These changes would help alleviate further congestion and provide a safer place for residents. After all, the NVD zones "are intended to be more residential in nature, with neighborhood retail and smaller-scale development compared to the other four State Street Districts (Ord. No. O-2018-0029, Enacted 10/9/2018)." It is time to revisit the Master Plan to continue to protect residential areas from commercial and high-density housing development.

Thank you for your time and consideration into these matters.



NVD Map.docx

186K

Orem Planning <planning@orem.org>
To: Jason Bench <jwbench@orem.org>

Wed, Feb 17, 2021 at 10:10 AM

----- Forwarded message -----

From: **Stephanie Visnaw** <visnaw@gmail.com>
Date: Tue, Feb 16, 2021 at 1:05 PM

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

OK-OB LLC
%CSG INC
230 N ST STE 1
DANVERS, MA 01923

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

RFM REAL ESTATE LLC
621 WASHINGTON ST S
TWIN FALLS, ID 83301

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

UHS OF TIMPANOGOS INC
%PARADIGM TAX GROUP
PO BOX 800729
DALLAS, TX 75380

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PIGPEN PROPERTIES LLC
%REALTY ADVANTAGE, INC
PO BOX 13
AMERICAN FORK, UT 84003

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

6 COCO LLC
5513 W 11000 N # 315
HIGHLAND, UT 84003

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

HOYAL, JAMES I & CHRISTA R (ET AL)
198 MEADOWBROOK DR
ALPINE, UT 84004

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WHITELEY, DENNIS O & ADELE W
239 E 600 N
ALPINE, UT 84004

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MESSERLY RANCH INVESTMENTS LLC
2711 E CEDAR DR
EAGLE MOUNTAIN, UT 84005

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WRIGHT, MATTHEW J & CANDACE A
698 E 175 N
LINDON, UT 84042

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

LO RUSSO, JULIE ANN
307 E 680 N
LINDON, UT 84042

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

INTERMOUNTAIN FIREPLACE STORE LLC
271 S 240 W
LINDON, UT 84042

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

DKC ESTATES LLC
270 S 1060 W
LINDON, UT 84042

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WESTCO PROPERTIES LC
70 KINGS PEAK
LINDON, UT 84042

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WLHO #1 LC
1797 N 120 E
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MIDGLEY ENTERPRISES INC
7644 S STATE ST
MIDVALE, UT 84047

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

STEELE, BRIGG R & JANET ALLRED (ET AL)
435 N 200 E
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BENTLEY, MARISA C
1887 N 240 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

FARR, ROBERT JORDAN & LORI J
1694 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MURRAY, KARALIE P
1705 N 320 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MICHAELIS, BRETT J & NICOLE T
1695 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

HAMILTON, RANDY M & BETH G (ET AL)
--OR CURRENT RESIDENT--
1704 N 350 WEST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

HADERLIE, JEFFERY C & KIERSTEN A
1714 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

DELORA, JESSICA & JARED
1707 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

RAY, RICHARD C & ALBERTA
1715 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CARPENTER, MICHAEL J & JOLYNN
1734 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

KINGSOLVER, MELISSA RAYE JENSEN &
JEFFERY DON
1744 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

EGGETT, DENNIS LEE & LORETTA HUFFAKER
1735 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

VANCE, RICHARD & JULIENNE B (ET AL)
1805 N 350 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TURNER, JEFFREY W
1547 N 375 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

STEWART, DANIEL J & JACQUELINE A
1573 N 375 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

KELANDER, DAVID C
1554 N 375 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

HERBERT, DANIEL & ANGELA
1574 N 375 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

HEAPS, STEVEN R & SHERRY S (ET AL)
1630 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CULLIMORE, CRAIG L & CLEO FAYE
1650 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

OB-OK UTAH LLC
--OR CURRENT RESIDENT--
1637 N 400 WEST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BECERRA, ANNYA
1657 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CONDIE, JAMES EARL & KRYSTI LOUISE
1669 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

JACOBSON, CRAIG M & DEANNE C
1684 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WILD, LUCAS & KATIE
1683 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

GONZALEZ, SANTIAGO & RAMON
1698 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	RIGGS, JOHN DAVID & FAYE COLLEEN (ET AL) 1710 N 400 W OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	SLATER, JONATHAN A & SARA J 1733 N 400 W OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	HAGEY, ALISHA LYNN & JASON ALAN 1717 N 400 W OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	HAYES, NATALIE & NATHAN DARRELL 1736 N 400 W OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CHRISTENSEN, DARRYL K
1741 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WRIGHT, MATTHEW J & CANDACE A
--OR CURRENT RESIDENT--
1756 N 400 WEST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CHRISTENSEN, L
1753 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BARRUS, SPENCER & LAUREN
1765 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PASSEY, ALEXANDER J SR & CORAZON C
1770 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CHRISTENSEN, L
--OR CURRENT RESIDENT--
1815 N 400 WEST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

LOVELAND, BRANDON JEFFERY
1795 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

LAUDIE, KIM K & BETTY LEE
1826 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BLEYL, WILLIAM SCOTT & KATRINA
1835 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PAPWORTH, CHRISTINE
1884 N 400 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BISHOP, ALENE B
--OR CURRENT RESIDENT--
1840 N 400 WEST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

SMITH, JORDAN & RACHEL
1788 N 430 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BAUER, CHRIS & CHRISTY (ET AL)
1818 N 450 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

JEFF LAMBSON
156 E 1060 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PIERCE, JASON & SHELLEY
1819 N 490 W
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PETERSON, BRIAN & JESSICA
398 W 1520 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MUTCH, CHRISTINA M
398 W 1560 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

JEFFERY, ARTHUR A & E LORRAINE
411 W 1560 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

VISNAW, LEON J & STEPHANIE L
399 W 1560 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

UNITED RESOURCES INC
273 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PULLEY, LYNN R & BARBARA M (ET AL)
345 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

LANDON, DUSTIN
361 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TYACKE, STAYTON
--OR CURRENT RESIDENT--
356 W 1600 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CITY OF OREM THE
370 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CITY OF OREM THE
382 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BOOTH, OLIVER ALEXANDER
396 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PORTILLO, JORGE LUIS BELTRAN
391 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CITY OF OREM THE
407 W 1600 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CITY OF OREM
--OR CURRENT RESIDENT--
411 W 1600 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PAPWORTH, CHRISTINE
--OR CURRENT RESIDENT--
561 W 1700 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

OK-OB LLC
--OR CURRENT RESIDENT--
460 W 1600 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WILKINS, BRANDON & KATHRINE
572 W 1700 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TRUE NORTH LLC
--OR CURRENT RESIDENT--
575 W 1700 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

THOMAS, NATHAN K & LYNDI E
609 W 1725 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

STEELE, BRIGG R & JANET ALLRED (ET AL)
--OR CURRENT RESIDENT--
588 W 1700 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

DILLINGHAM, DOUGLAS S & ARLENE
618 W 1725 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BRERETON, SCOTT R & KAREN B
336 W 1750 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

ORTON, ZACKERY D & DEVRI L
360 W 1750 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BARNEY, DYLAN J & CAITLYN T
346 W 1750 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BARRICK, JOHN A JR & JILL J
365 W 1750 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

HOOD, THOMAS E & PAIGE S
376 W 1750 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BENTLEY, MARISA C
--OR CURRENT RESIDENT--
335 W 1780 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MASON, TRAVIS B & STEPHANIE M
385 W 1750 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

ROLLINS, RICHARD N
346 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

KAY, RICHARD S
347 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

JONES, STEVEN R & LUCILE N
368 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BALLEW, GEORGE & AMANDA
361 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WOOD, PETE E & JACQUELINE J
377 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

ASHBY, QUINN K & LAURIE L
386 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

LO RUSSO, JULIE ANN
--OR CURRENT RESIDENT--
433 W 1780 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PETERSON, DENNIS W & PAMELA M
431 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

POOLE, BRIAN D & AMY
442 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PIRIR, LUIS R
443 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

ROBINSON, GORDON & LYNETTE
455 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

WASAHBURN, BRIAN J (ET AL)
454 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

KAUFFMAN, PATRICIA J
464 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

AMH 2015-2 BORROWER LLC
--OR CURRENT RESIDENT--
465 W 1780 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

STEWART, TIMOTHY A & EVAN T
477 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

G&L PROPERTIES #476 LLC
--OR CURRENT RESIDENT--
476 W 1780 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

FORD, NIKKI & ALEX
486 W 1780 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	AMERICAN HOMES 4 RENT PROPERTIES FIVE LLC --OR CURRENT RESIDENT-- 487 W 1780 NORTH OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	LIU, QINGYUAN (ET AL) 459 W 1810 N OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	DKC ESTATES LLC --OR CURRENT RESIDENT-- 426 W 1800 NORTH OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

	The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org . (See other side for additional details)
Neighborhood Meeting - Zoom Wed, Feb 17, 2021 6:00 pm	JOHNSON, KEVIN JOHN & HEATHER RANDS (ET AL) 460 W 1810 N OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CORTEZ, RITA E
467 W 1810 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

PITT, WILLIAM G & STACEE R
479 W 1810 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

SMITH, KEITH R & CAMILLE L
470 W 1810 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

GUYMON, CONRAD & MICHELLE
482 W 1810 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

UHS OF TIMPANOGOS INC
--OR CURRENT RESIDENT--
487 W 1810 NORTH
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

SUMNER, JACK C & ERIS Y
11 W 1880 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

SANCHEZ, JORGE R & MARIA
517 W 1830 N
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

JASON BENCH
1911 N MAIN STREET
OREM, UT 84057-2101

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

PIGPEN PROPERTIES LLC
--OR CURRENT RESIDENT--
1549 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

GMT PROPERTIES LLC
--OR CURRENT RESIDENT--
1663 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

RFM REAL ESTATE LLC
--OR CURRENT RESIDENT--
1555 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

ENGFELT ENTERPRISES LC
--OR CURRENT RESIDENT--
1666 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

TBF PROPERTIES LLC
--OR CURRENT RESIDENT--
1667 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

UTAH STATE BUILDING OWNERSHIP
AUTHORITY
--OR CURRENT RESIDENT--
1688 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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D J PROPERTIES GROUP LLC
--OR CURRENT RESIDENT--
1682 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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TBF PROPERTIES LLC
--OR CURRENT RESIDENT--
1694 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

ABA PROPERTIES LC
--OR CURRENT RESIDENT--
1778 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

IW INVESTMENTS LLC
--OR CURRENT RESIDENT--
1795 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

UHS OF TIMPANOGOS INC
--OR CURRENT RESIDENT--
1790 N STATE
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

6 COCO LLC
--OR CURRENT RESIDENT--
1562 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

QQ UTAH COUNTY 2 LLC
--OR CURRENT RESIDENT--
1588 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

R AND M GAPPMAYER LC
--OR CURRENT RESIDENT--
1611 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MIDGLEY ENTERPRISES INC
--OR CURRENT RESIDENT--
1599 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

QCSIF SIX LLC
--OR CURRENT RESIDENT--
1620 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TBF PROPERTIES LLC
--OR CURRENT RESIDENT--
1643 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CROSS POINTE PUD OWNERS ASSOCIATION
INC
--OR CURRENT RESIDENT--
1665 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

OSMOND DESIGNS OREM LLC
1660 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

INTERMOUNTAIN FIREPLACE STORE LLC
--OR CURRENT RESIDENT--
1678 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

MILLECAM, CHRIS
1683 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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MESSERLY RANCH INVESTMENTS LLC
--OR CURRENT RESIDENT--
1715 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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NEALS RV CENTER INC
--OR CURRENT RESIDENT--
1700 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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DALLAS AUTO SALES INC
--OR CURRENT RESIDENT--
1717 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CHRISTENSEN, L
--OR CURRENT RESIDENT--
1748 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

ABA PROPERTIES LC
1776 N STATE ST # 200
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

NEAL'S RV CENTER INC
1755 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

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Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

UHS OF TIMPANOGOS INC
--OR CURRENT RESIDENT--
1784 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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WLHO #1 LC
--OR CURRENT RESIDENT--
1786 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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UHS OF TIMPANOGOS INC
--OR CURRENT RESIDENT--
1806 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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HOYAL PROPERTIES LLC
--OR CURRENT RESIDENT--
1802 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

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WESTCO PROPERTIES LC
--OR CURRENT RESIDENT--
1810 N STATE ST
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

KRISTIE SNYDER
56 N STATE STREET
OREM, UT 84057

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

SCHOFIELD, LAMONT E (ET AL)
1511 S GENEVA RD
OREM, UT 84058

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BRENT SUMNER
744 WEST 550 SOUTH
OREM, UT 84058

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TBF PROPERTIES LLC
215 S OREM BLVD
OREM, UT 84058

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CITY OF OREM THE
115 W WESTVIEW DR
OREM, UT 84058

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TOWNE & COUNTRY INVESTMENTS LLC
PO BOX 992
OREM, UT 84059

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

DEBBY LAURET
641 S 1920 W
OREM, UT 84059

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

DALLAS AUTO SALES INC
1063 E 1100 N
PLEASANT GROVE, UT 84062

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

RYAN CLARK
1405 N. 1430 WEST
PLEASANT GROVE, UT 84062

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

DAVID SPENCER
899 NORTH 550 EAST
OREM, UT 84097

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CITY OF OREM
1843 W 4000 S
ROY, UT 84067

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

RICHINS, ARTHUR C & THELMA M (ET AL)
1039 S 750 E
OREM, UT 84097

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

MAYOR RICHARD F. BRUNST, JR.
900 E HIGH COUNTRY DRIVE
OREM, UT 84097-2389

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

THOMAS MACDONALD
489 NORTH PALISADES DR
OREM, UT 84097

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TERRY PETERSON
1125 LYNNWOOD DRIVE
OREM, UT 84097

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

R AND M GAPPMAYER LC
1156 S STATE ST # 202
OREM, UT 84097

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

UTAH STATE BUILDING OWNERSHIP
AUTHORITY
STATE OFFICE BUILDING SUITE 4110
SALT LAKE CITY, UT 84114

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

G&L PROPERTIES #476 LLC
4012 N 60 E
PROVO, UT 84604

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

D J PROPERTIES GROUP LLC
2763 S STATE ST
SALT LAKE CITY, UT 84115

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

CROSS POINTE PUD OWNERS ASSOCIATION
INC
1862 N 1120 W
PROVO, UT 84604

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TRUE NORTH LLC
240 E CENTER ST
PROVO, UT 84606

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

BISHOP, ALENE B
465 S TOWERS DR
SALEM, UT 84653

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

HAMILTON, RANDY M & BETH G (ET AL)
72 NORH 720 E
SALEM, UT 84653

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

TYACKE, STAYTON
2648 S HIDDEN CANYON DR
MAPLETON, UT 84664

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

AMH 2015-2 BORROWER LLC
%PROPERTY TAX DEPARTMENT
23975 PARK SORRENTO STE 300
CALABASAS, CA 91302

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

QCSIF SIX LLC
%THE KRAUSZ COMPANIES INC
44 MONTGOMERY ST STE 2388
SAN FRANCISCO, CA 94104

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

IW INVESTMENTS LLC
PO BOX 270896
SAN DIEGO, CA 92198

For more information, contact
Jason Bench at (801) 229-7238
or jwbench@orem.org



Zoom meeting ,

The Development Services Department will hold a neighborhood meeting regarding amendments to the State Street Districts pertaining to setback requirements in the North Village and The Arts District zones. In addition, staff will discuss the rezone of property located generally between 1637 N to 1753 North on 400 West from the NVD-Res(B) zone to the R8 zone. The discussion will be focused on these two items. If you have additional comments pertaining to the State Street Districts you can email staff directly at planning@orem.org. (See other side for additional details)

Neighborhood Meeting
- Zoom
Wed, Feb 17, 2021
6:00 pm

QQ UTAH COUNTY 2 LLC
1380 LEAD HILL BLVD STE 260
ROSEVILLE, CA 95661

Additional information can be viewed at orem.org/planning under “Current Planning (Public Hearing Noticing)” tab.

Please use the following link to access the Zoom meeting.

Topic: Neighborhood Meeting - Zoom

Time: Feb 17, 2021 06:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/88978648664?pwd=ZTU1bTJxenJwU3h6a0ZtckN5NGR1UT09>

Meeting ID: 889 7864 8664

Passcode: 613953



Additional information can be viewed at orem.org/planning under “Current Planning (Public Hearing Noticing)” tab.

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Join Zoom Meeting

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Meeting ID: 889 7864 8664

Passcode: 613953



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Join Zoom Meeting

<https://us02web.zoom.us/j/88978648664?pwd=ZTU1bTJxenJwU3h6a0ZtckN5NGR1UT09>

Meeting ID: 889 7864 8664

Passcode: 613953



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<https://us02web.zoom.us/j/88978648664?pwd=ZTU1bTJxenJwU3h6a0ZtckN5NGR1UT09>

Meeting ID: 889 7864 8664

Passcode: 613953



PIGPEN PROPERTIES LLC
%REALTY ADVANTAGE, INC
PO BOX 13
AMERICAN FORK, UT 84003

IW INVESTMENTS LLC
PO BOX 270896
SAN DIEGO, CA 92198

UHS OF TIMPANOGOS INC
%PARADIGM TAX GROUP
PO BOX 800729
DALLAS, TX 75380

TOWNE & COUNTRY INVESTMENTS
LLC
PO BOX 992
OREM, UT 84059

UTAH STATE BUILDING OWNERSHIP
AUTHORITY
STATE OFFICE BUILDING SUITE 4110
SALT LAKE CITY, UT 84114

SUMNER, JACK C & ERIS Y
11 W 1880 N
OREM, UT 84057

QCSIF SIX LLC
%THE KRAUSZ COMPANIES INC
44 MONTGOMERY ST STE 2388
SAN FRANCISCO, CA 94104

KRISTIE SNYDER
56 N STATE STREET
OREM, UT 84057

WESTCO PROPERTIES LC
70 KINGS PEAK
LINDON, UT 84042

HAMILTON, RANDY M & BETH G (ET
AL)
72 NORH 720 E
SALEM, UT 84653

CITY OF OREM THE
115 W WESTVIEW DR
OREM, UT 84058

JEFF LAMBSON
156 E 1060 N
OREM, UT 84057

HOYAL, JAMES I & CHRISTA R (ET
AL)
198 MEADOWBROOK DR
ALPINE, UT 84004

TBF PROPERTIES LLC
215 S OREM BLVD
OREM, UT 84058

OK-OB LLC
%CSG INC
230 N ST STE 1
DANVERS, MA 01923

WHITELEY, DENNIS O & ADELE W
239 E 600 N
ALPINE, UT 84004

TRUE NORTH LLC
240 E CENTER ST
PROVO, UT 84606

DKC ESTATES LLC
270 S 1060 W
LINDON, UT 84042

INTERMOUNTAIN FIREPLACE STORE
LLC
271 S 240 W
LINDON, UT 84042

UNITED RESOURCES INC
273 W 1600 N
OREM, UT 84057

LO RUSSO, JULIE ANN
307 E 680 N
LINDON, UT 84042

BENTLEY, MARISA C
--OR CURRENT RESIDENT--
335 W 1780 NORTH
OREM, UT 84057

BRERETON, SCOTT R & KAREN B
336 W 1750 N
OREM, UT 84057

PULLEY, LYNN R & BARBARA M (ET
AL)
345 W 1600 N
OREM, UT 84057

BARNEY, DYLAN J & CAITLYN T
346 W 1750 N
OREM, UT 84057

ROLLINS, RICHARD N
346 W 1780 N
OREM, UT 84057

KAY, RICHARD S
347 W 1780 N
OREM, UT 84057

TYACKE, STAYTON
--OR CURRENT RESIDENT--
356 W 1600 NORTH
OREM, UT 84057

ORTON, ZACKERY D & DEVRI L
360 W 1750 N
OREM, UT 84057

LANDON, DUSTIN
361 W 1600 N
OREM, UT 84057

BALLEW, GEORGE & AMANDA
361 W 1780 N
OREM, UT 84057

BARRICK, JOHN A JR & JILL J
365 W 1750 N
OREM, UT 84057

JONES, STEVEN R & LUCILE N
368 W 1780 N
OREM, UT 84057

CITY OF OREM THE
370 W 1600 N
OREM, UT 84057

HOOD, THOMAS E & PAIGE S
376 W 1750 N
OREM, UT 84057

WOOD, PETE E & JACQUELINE J
377 W 1780 N
OREM, UT 84057

CITY OF OREM THE
382 W 1600 N
OREM, UT 84057

MASON, TRAVIS B & STEPHANIE M
385 W 1750 N
OREM, UT 84057

ASHBY, QUINN K & LAURIE L
386 W 1780 N
OREM, UT 84057

PORTILLO, JORGE LUIS BELTRAN
391 W 1600 N
OREM, UT 84057

BOOTH, OLIVER ALEXANDER
396 W 1600 N
OREM, UT 84057

PETERSON, BRIAN & JESSICA
398 W 1520 N
OREM, UT 84057

MUTCH, CHRISTINA M
398 W 1560 N
OREM, UT 84057

VISNAW, LEON J & STEPHANIE L
399 W 1560 N
OREM, UT 84057

CITY OF OREM THE
407 W 1600 N
OREM, UT 84057

JEFFERY, ARTHUR A & E LORRAINE
411 W 1560 N
OREM, UT 84057

CITY OF OREM
--OR CURRENT RESIDENT--
411 W 1600 NORTH
OREM, UT 84057

DKC ESTATES LLC
--OR CURRENT RESIDENT--
426 W 1800 NORTH
OREM, UT 84057

PETERSON, DENNIS W & PAMELA M
431 W 1780 N
OREM, UT 84057

LO RUSSO, JULIE ANN
--OR CURRENT RESIDENT--
433 W 1780 NORTH
OREM, UT 84057

STEELE, BRIGG R & JANET ALLRED
(ET AL)
435 N 200 E
OREM, UT 84057

POOLE, BRIAN D & AMY
442 W 1780 N
OREM, UT 84057

PIRIR, LUIS R
443 W 1780 N
OREM, UT 84057

WASAHBURN, BRIAN J (ET AL)
454 W 1780 N
OREM, UT 84057

ROBINSON, GORDON & LYNETTE
455 W 1780 N
OREM, UT 84057

LIU, QINGYUAN (ET AL)
459 W 1810 N
OREM, UT 84057

OK-OB LLC
--OR CURRENT RESIDENT--
460 W 1600 NORTH
OREM, UT 84057

JOHNSON, KEVIN JOHN & HEATHER
RANDS (ET AL)
460 W 1810 N
OREM, UT 84057

KAUFFMAN, PATRICIA J
464 W 1780 N
OREM, UT 84057

BISHOP, ALENE B
465 S TOWERS DR
SALEM, UT 84653

AMH 2015-2 BORROWER LLC
--OR CURRENT RESIDENT--
465 W 1780 NORTH
OREM, UT 84057

CORTEZ, RITA E
467 W 1810 N
OREM, UT 84057

SMITH, KEITH R & CAMILLE L
470 W 1810 N
OREM, UT 84057

G&L PROPERTIES #476 LLC
--OR CURRENT RESIDENT--
476 W 1780 NORTH
OREM, UT 84057

STEWART, TIMOTHY A & EVAN T
477 W 1780 N
OREM, UT 84057

PITT, WILLIAM G & STACEE R
479 W 1810 N
OREM, UT 84057

GUYMON, CONRAD & MICHELLE
482 W 1810 N
OREM, UT 84057

FORD, NIKKI & ALEX
486 W 1780 N
OREM, UT 84057

AMERICAN HOMES 4 RENT
PROPERTIES FIVE LLC
--OR CURRENT RESIDENT--
487 W 1780 NORTH
OREM, UT 84057

UHS OF TIMPANOGOS INC
--OR CURRENT RESIDENT--
487 W 1810 NORTH
OREM, UT 84057

THOMAS MACDONALD
489 NORTH PALISADES DR
OREM, UT 84097

SANCHEZ, JORGE R & MARIA
517 W 1830 N
OREM, UT 84057

PAPWORTH, CHRISTINE
--OR CURRENT RESIDENT--
561 W 1700 NORTH
OREM, UT 84057

WILKINS, BRANDON & KATHRINE
572 W 1700 N
OREM, UT 84057

TRUE NORTH LLC
--OR CURRENT RESIDENT--
575 W 1700 NORTH
OREM, UT 84057

STEELE, BRIGG R & JANET ALLRED
(ET AL)
--OR CURRENT RESIDENT--
588 W 1700 NORTH
OREM, UT 84057

THOMAS, NATHAN K & LYNDI E
609 W 1725 N
OREM, UT 84057

DILLINGHAM, DOUGLAS S &
ARLENE
618 W 1725 N
OREM, UT 84057

RFM REAL ESTATE LLC
621 WASHINGTON ST S
TWIN FALLS, ID 83301

DEBBY LAURET
641 S 1920 W
OREM, UT 84059

WRIGHT, MATTHEW J & CANDACE A
698 E 175 N
LINDON, UT 84042

BRENT SUMNER
744 WEST 550 SOUTH
OREM, UT 84058

DAVID SPENCER
899 NORTH 550 EAST
OREM, UT 84097

MAYOR RICHARD F. BRUNST, JR.
900 E HIGH COUNTRY DRIVE
OREM, UT 84097-2389

RICHINS, ARTHUR C & THELMA M
(ET AL)
1039 S 750 E
OREM, UT 84097

DALLAS AUTO SALES INC
1063 E 1100 N
PLEASANT GROVE, UT 84062

TERRY PETERSON
1125 LYNNWOOD DRIVE
OREM, UT 84097

R AND M GAPPMAYER LC
1156 S STATE ST # 202
OREM, UT 84097

QQ UTAH COUNTY 2 LLC
1380 LEAD HILL BLVD STE 260
ROSEVILLE, CA 95661

RYAN CLARK
1405 N. 1430 WEST
PLEASANT GROVE, UT 84062

SCHOFIELD, LAMONT E (ET AL)
1511 S GENEVA RD
OREM, UT 84058

TURNER, JEFFREY W
1547 N 375 W
OREM, UT 84057

PIGPEN PROPERTIES LLC
--OR CURRENT RESIDENT--
1549 N STATE
OREM, UT 84057

KELANDER, DAVID C
1554 N 375 W
OREM, UT 84057

RFM REAL ESTATE LLC
--OR CURRENT RESIDENT--
1555 N STATE
OREM, UT 84057

6 COCO LLC
--OR CURRENT RESIDENT--
1562 N STATE ST
OREM, UT 84057

STEWART, DANIEL J & JACQUELINE
A
1573 N 375 W
OREM, UT 84057

HERBERT, DANIEL & ANGELA
1574 N 375 W
OREM, UT 84057